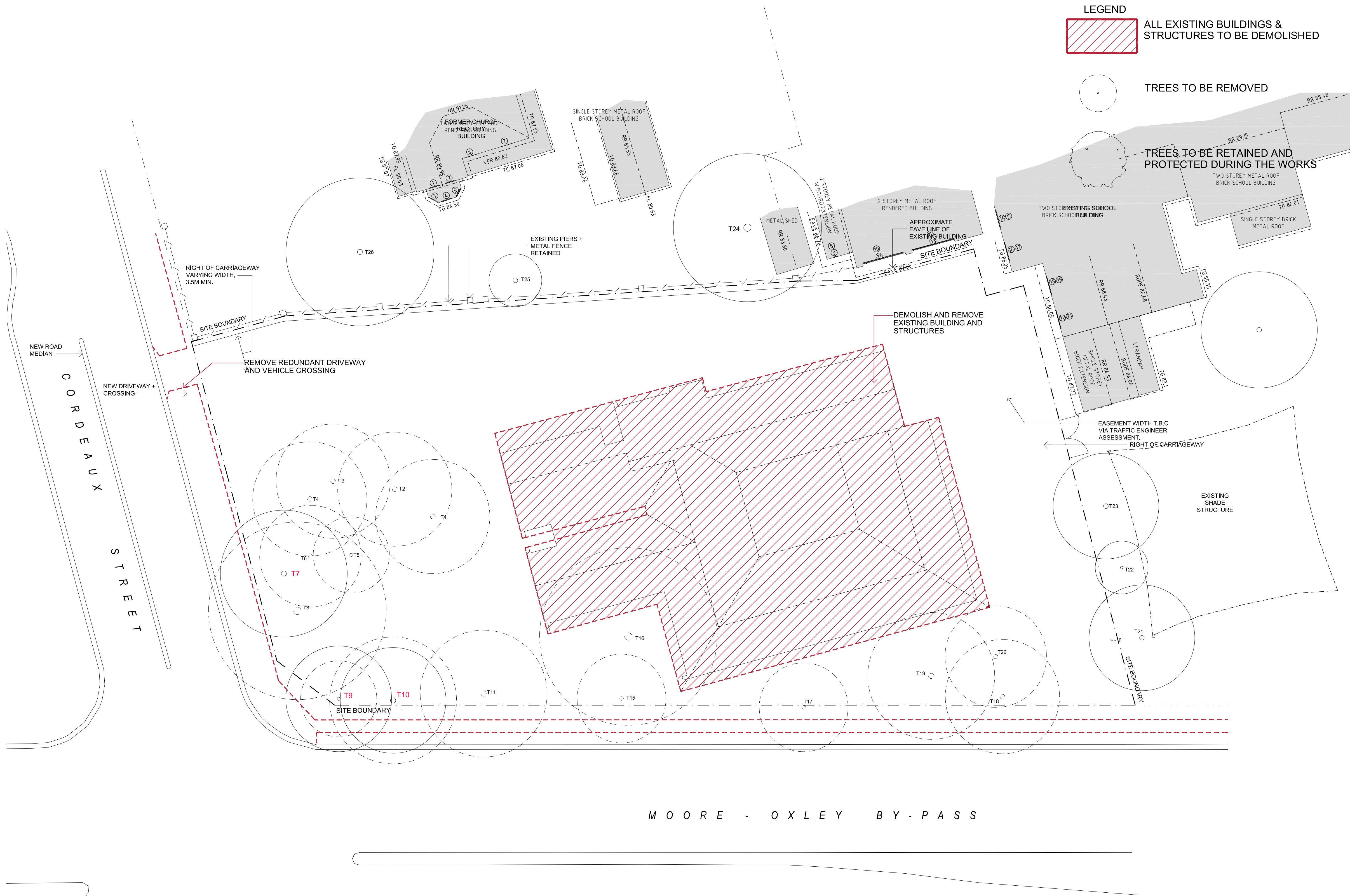


An architectural rendering of a modern, multi-story residential building. The building features a mix of dark grey and light grey facades, with large windows and balconies. The balconies have white railings and some have small plants. The building is surrounded by lush green trees and landscaping. In the foreground, there is a paved road with white dashed lines, a few cars, and a pedestrian crossing. The sky is a soft, hazy blue, suggesting a clear day. The overall style is clean and modern, typical of contemporary architectural visualizations.

Contractor to verify all dimensions on site before commencing work
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01 DEMOLITION PLAN
1:200

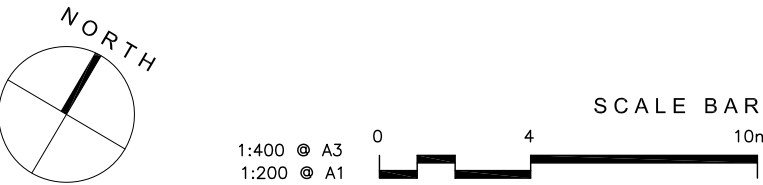
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- PLAN LEGEND:**
- AW AWNING (TO FUTURE DETAIL)
 - B. BOLLARD
 - ELEC ELECTRICAL SERVICES (TO FUTURE ENG'S DETAILS)
 - FE FIRE EXTINGUISHER
 - FG FLOOR GRATE
 - FH FIRE HYDRANT
 - VL FIXED VERTICAL LOUVRIS
 - HS HIGHLIGHT WINDOW ABOVE WALL
 - LS LANDSCAPING (REFER TO LANDSCAPE ARCHITECTS DRAWINGS)
 - MA MAINTENANCE ACCESS
 - MB MAIL BOX TO FUTURE DETAIL
 - MS MOBILE SCREEN
 - MV MECHANICAL RISER (TBC BY CONSULTANT- PRELIMINARY LOCATION ONLY)
 - NGL NATURAL GROUND LEVEL
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 - PS PRIVACY SCREEN
 - SB SAFETY BARRIER (TBC BY CONSULTANT- PRELIMINARY LOCATION ONLY)
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 - SL SUN LOUVRE SYSTEM
 - CWT CENTRALISED WATER TANK TO FUTURE DETAIL
 - RWT RAINWATER TANK TO FUTURE DETAIL
 - R RECYCLE BINS
 - RT RETAINING WALL
 - TD TILT DOOR

- ELEVATIONS LEGEND:**
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 - FB FACE BRICK
 - GB FRAMELESS TOUGHENED GLASS BALUSTRADE (TO BCA/ AUSTRALIAN STANDARDS)
 - HL HORIZONTAL LOUVRES
 - MF METAL FENCE
 - MS MOBILE FEATURE SCREEN
 - OP OPAQUE GLAZING
 - PC PANEL CLADDING
 - PS METAL PRIVACY SCREEN (TO FUTURE SELECTION/DETAIL)
 - PT PAINT FINISH
 - RD ROLLER DOOR
 - RW RENDERED WALL/ SELECTED PAINT FINISH
 - SRW SCORED RENDERED WALL

DEVELOPMENT APPLICATION

28 CORDEAUX STREET,
CAMPBELLTOWN
PROJECT No. 1530
CLIENT: PROPERTY LOGIC



DATE	DESCRIPTION	REVISION
01.08.2016	ISSUE FOR DEVELOPMENT APPLICATION	A

DA 003
DEMOLITION PLAN

PBD | ARCHITECTS

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Level 2, 52 Albion Street, Surry Hills NSW 2010

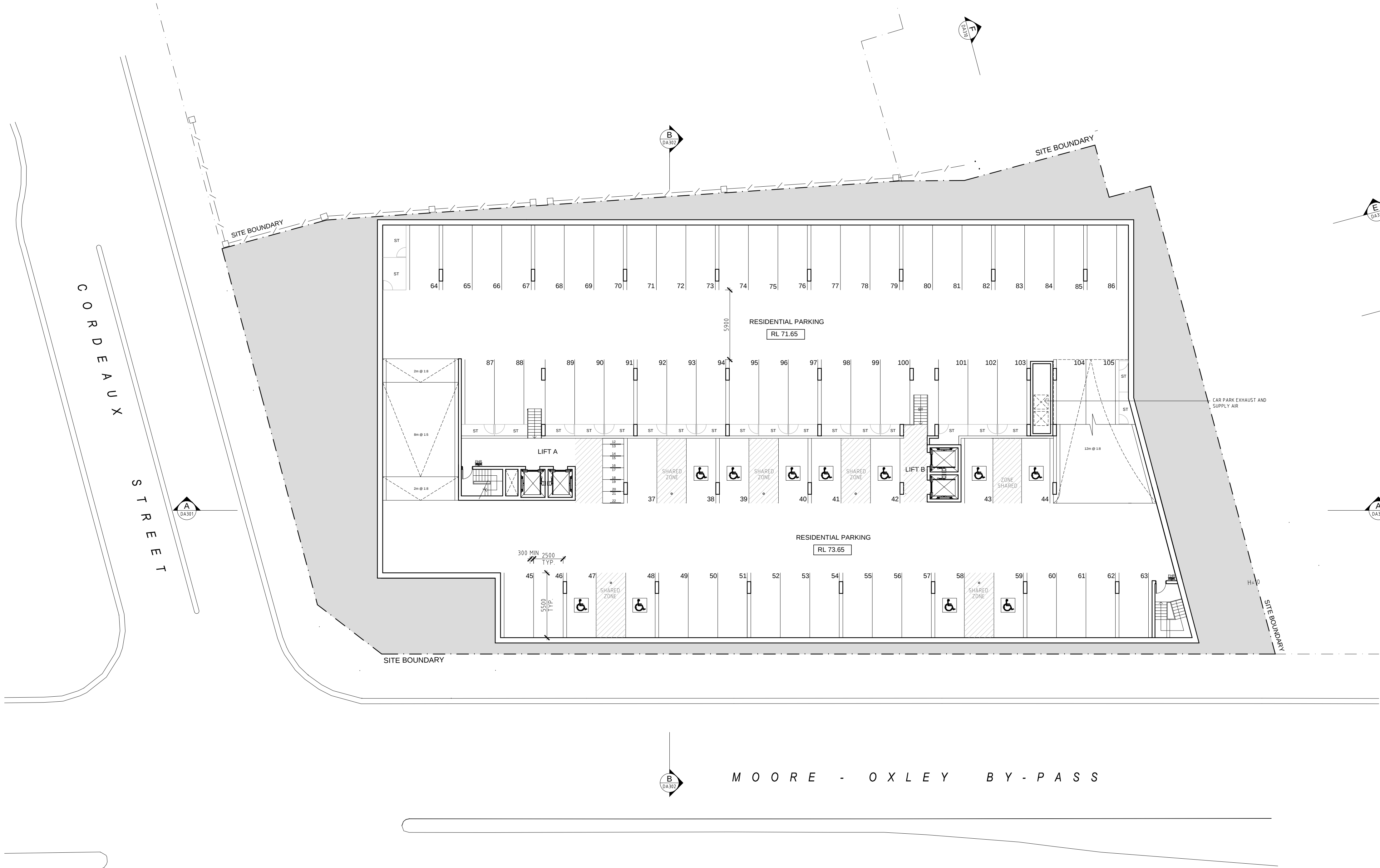
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CARSPACE CALCULATION	PROPOSED
RESIDENTIAL:	105 BAYS
VISITORS :	11 BAYS
RETAIL:	21 BAYS
CHURCH:	5 BAYS
TOTAL CARSPACE	142 BAYS
ADAPTABLE UNITS = 10% x 104 =	11 BAYS (INCLUDED)
BICYCLE = 105/5 =	26 BICYCLE SPACES

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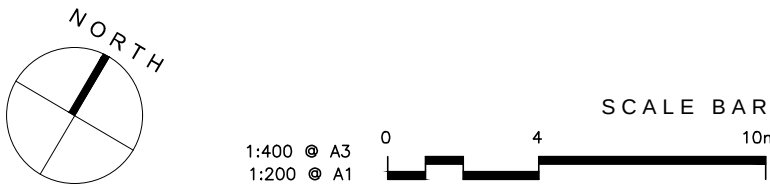
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DEVELOPMENT APPLICATION

**28 CORDEAUX STREET,
CAMPBELLTOWN**
PROJECT No. 1530
CLIENT: PROPERTY LOGIC



DATE	DESCRIPTION	REVISION
01.09.2016	ISSUE FOR DEVELOPMENT APPLICATION	A
26.05.2017	ISSUE FOR COUNCIL RESPONSE	B

NOTE: BASEMENT PLAN REVISED

**DA 100
BASEMENT 2**

PBD | ARCHITECTS

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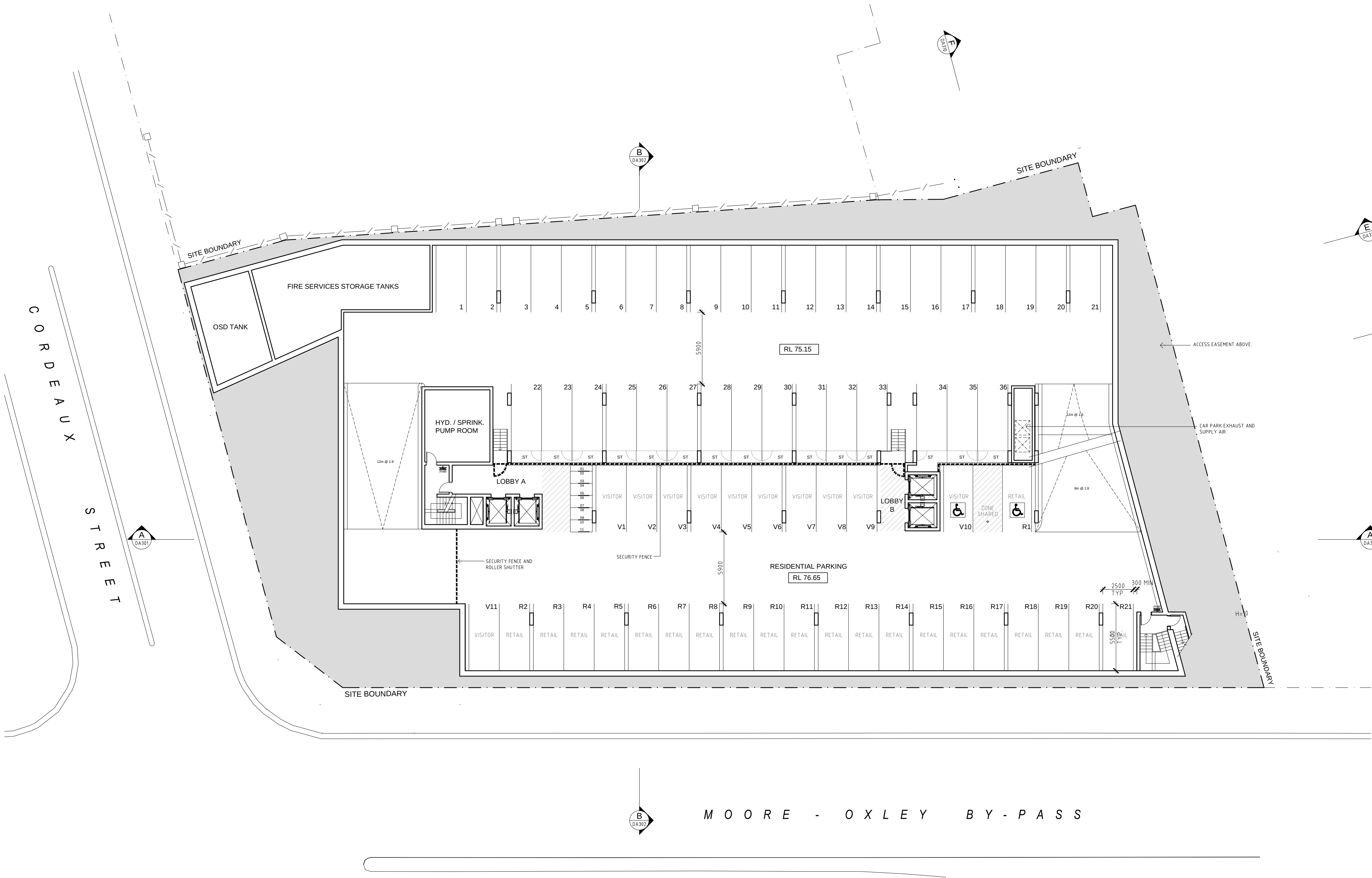
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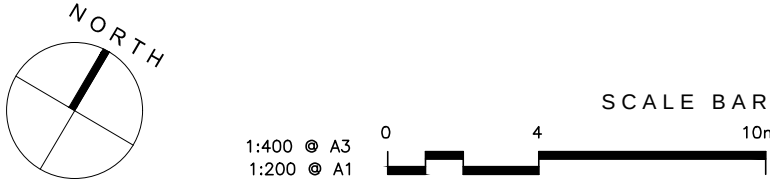
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DEVELOPMENT APPLICATION

**28 CORDEAUX STREET,
CAMPBELLTOWN**
PROJECT No. 1530
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26.05.2017	ISSUE FOR COUNCIL RESPONSE	B

NOTE: BASEMENT PLAN REVISED

**DA 101
BASEMENT 1**

PBD | ARCHITECTS

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PLAN LEGEND:

AW	AWNING (TO FUTURE DETAIL)
B	BOLLARD
ELEC	ELECTRICAL SERVICES (TO FUTURE ENG'S DETAILS)
FE	FIRE EXTINGUISHER
FG	FLOOR GRATE
FI	FIRE HYDRANT
VL	FIXED VERTICAL LOUVRES
HS	HIGHLIGHT WINDOW ABOVE WALL
LS	LANDSCAPING (REFER TO LANDSCAPE ARCHITECTS DRAWINGS)
MA	MAINTENANCE ACCESS
MB	MAIL BOX TO FUTURE DETAIL
MS	MOBILE SCREEN
MV	MECHANICAL RISER (TBC BY CONSULTANT- PRELIMINARY LOCATION ONLY)
NGL	NATURAL GROUND LEVEL
PB	PLANTER BOX (TO FUTURE DETAIL)
PS	PRIVACY SCREEN
SB	SAFETY BARRIER (TBC BY CONSULTANT- PRELIMINARY LOCATION ONLY)
RP	RIVER PEBBLES FOR LOCATIONS ON FLAT CONC. ROOF WITH INSULATION AS REQUIRED)
SL	SUN LOUVER SYSTEM
CWT	CENTRALISED WATER TANK TO FUTURE DETAIL
RWT	RAINWATER TANK TO FUTURE DETAIL
R	RECYCLE BINS
RT	RETAINING WALL
TD	TILT DOOR

ELEVATIONS LEGEND:

AW	AWNING (TO FUTURE DETAIL)
FB	FACE BRICK
GB	FRAMELESS TOUGHENED GLASS BALUSTRADE (TO BCA/ AUSTRALIAN STANDARDS)
HL	HORIZONTAL LOUVRES
MF	METAL FENCE
MS	MOBILE FEATURE SCREEN
OP	OPAQUE GLAZING
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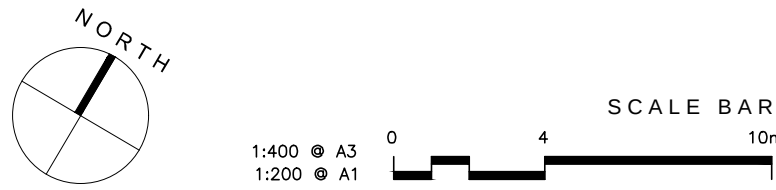
BASIX COMMITMENTS NOTES				
* TO BE READ IN CONJUNCTION WITH APPROVED BASIX REPORT*				
WATER	Features	All Shower Heads	All toilet flushing systems	All kitchen taps
		9 star (4 star = 7.5 L/min)	4 star	4 star
Fire Sprinkler	Must be configured so that fire sprinkler test water is contained within the fire sprinkler system for re-use, rather than disposed			
Appliances:	Dishwashers	4.5 star energy rating		
ENERGY	Hot water system: Central Gas Storage - Refer to approved BASIX			
	Bathroom ventilation system: Individual fan, ducted to facade or roof manual switch on/off			
	Kitchen ventilation system: Individual fan, not ducted manual switch on/off			
REFER TO APPROVED BASIX	Laundry ventilation system: Individual fan, ducted to facade or roof manual switch on/off			
	Cooling system: air-conditioning 1 Phase - EER 2.5 - 3.0 - to living areas only			
	Heating system: air-conditioning 1 Phase - EER 2.5 - 3.0 - to living areas only			
	Artificial lighting: As per BASIX			
	Natural lighting: As per BASIX			
	Appliances: Gas cooktop & electric oven			
	Dishwashers: 3.5 star energy rating			
COMMON AREAS	Refer to approved BASIX cert			

NATHERS - THERMAL COMFORT SUMMARY

Building Elements	Material	Detail
External walls	Rebar + Furring Channel + Insulation + Plasterboard	R1.5 Bulk Insulation to all units except as nominated below R2.5 Bulk Insulation to Units A304 / A304 / A304 / A304 / A304 / A304 / A304
Internal walls within units	Plasterboard on studs	-
Common walls between units	Rebar + Furring Channel + Plasterboard	-
Common walls between Units & Fire Stairs/Lift Shafts	200mm Concrete + Furring Channel + Insulation + Plasterboard	R2.5 Bulk Insulation except as nominated below R2.5 Bulk Insulation to Units A304 / A304 / A304 / A304
Ceilings	Plasterboard	-
Roof - L1 & 7	Concrete - Insulation to concrete exposed to external environment	R2.0 Bulk Insulation
Roof - L6 and Top Floor Roof	Concrete	R3.5 Bulk Insulation
Floors	Concrete	R1.5 Bulk Insulation to floor suspended over open carparking / loading / driveway for Units A105 / A105 / A105 / A105 / A105 / A105 / A105
Windows	Aluminium framed, single glazed clear - Sliding Windows / Doors / fixed glazing Aluminium framed, single glazed clear - Awning Windows / Hinged Doors Aluminium framed, single glazed, high solar gain Low E - Sliding Windows / Doors / fixed glazing	U value 5.70 or less and a SHGC of 0.70 +/- 5% (to all units except as nominated below) U value 6.70 or less and a SHGC of 0.57 +/- 5% U value 5.4 or less and a SHGC of 0.58 +/- 5% To units A104 / A104 / A104 / A104 / A104 / A104 / A104
Lighting: These Units must use non ventilated LED downlights as per individual NATHERS Certificates if proposed Bedroom / Ensuite / Laundry exhaust fans to have self-closing dampers		

DEVELOPMENT APPLICATION

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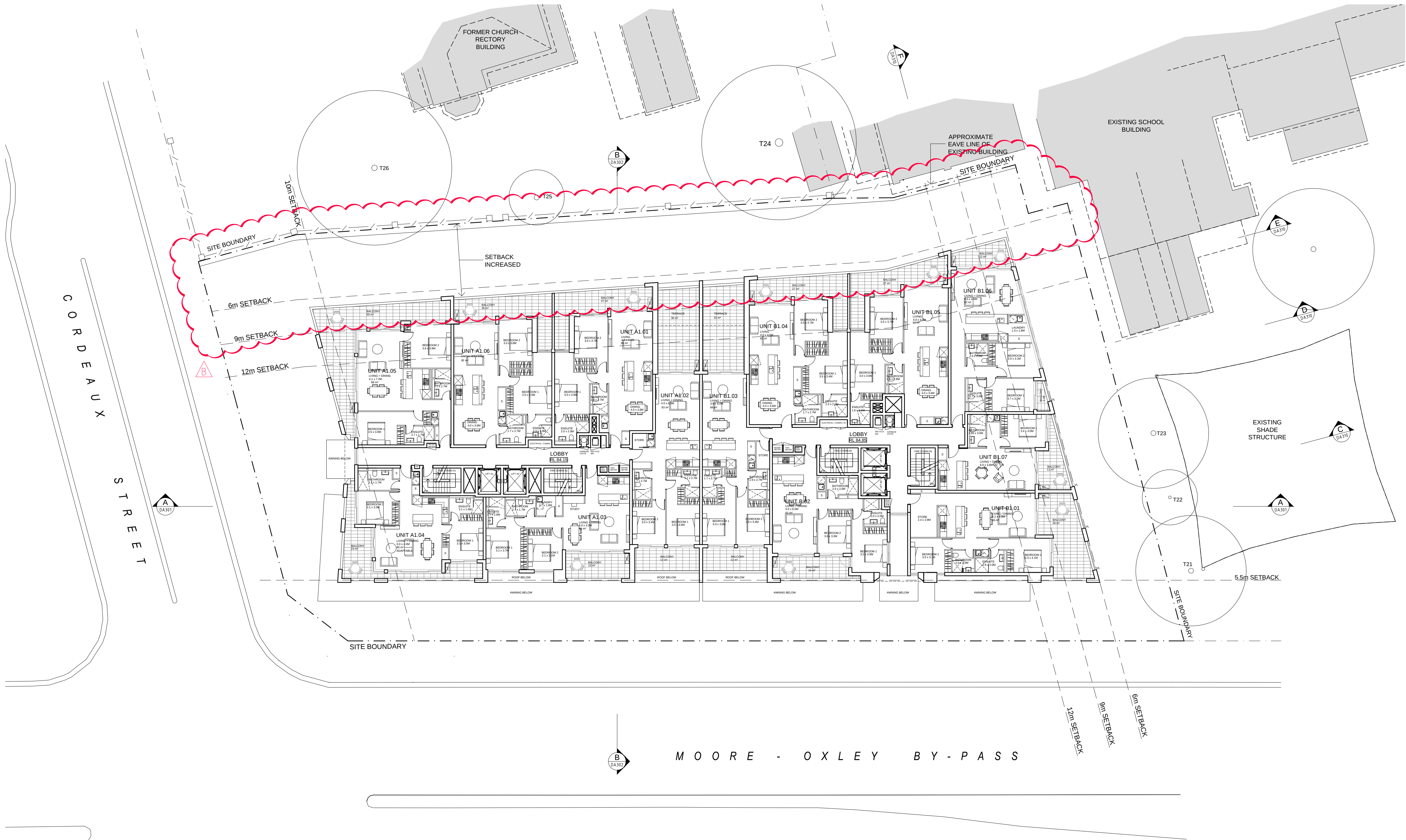
DA 102
SITE AND GROUND FLOOR

PBD | ARCHITECTS

A B N 36 147 035 550
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LEGEND:

- EXISTING TREE TO BE RETAINED
- NEW TREE TO BE PLANTED



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DEVELOPMENT APPLICATION

**28 CORDEAUX STREET,
CAMPBELLTOWN**

PROJECT No. 1530
CLIENT: PROPERTY LOGIC

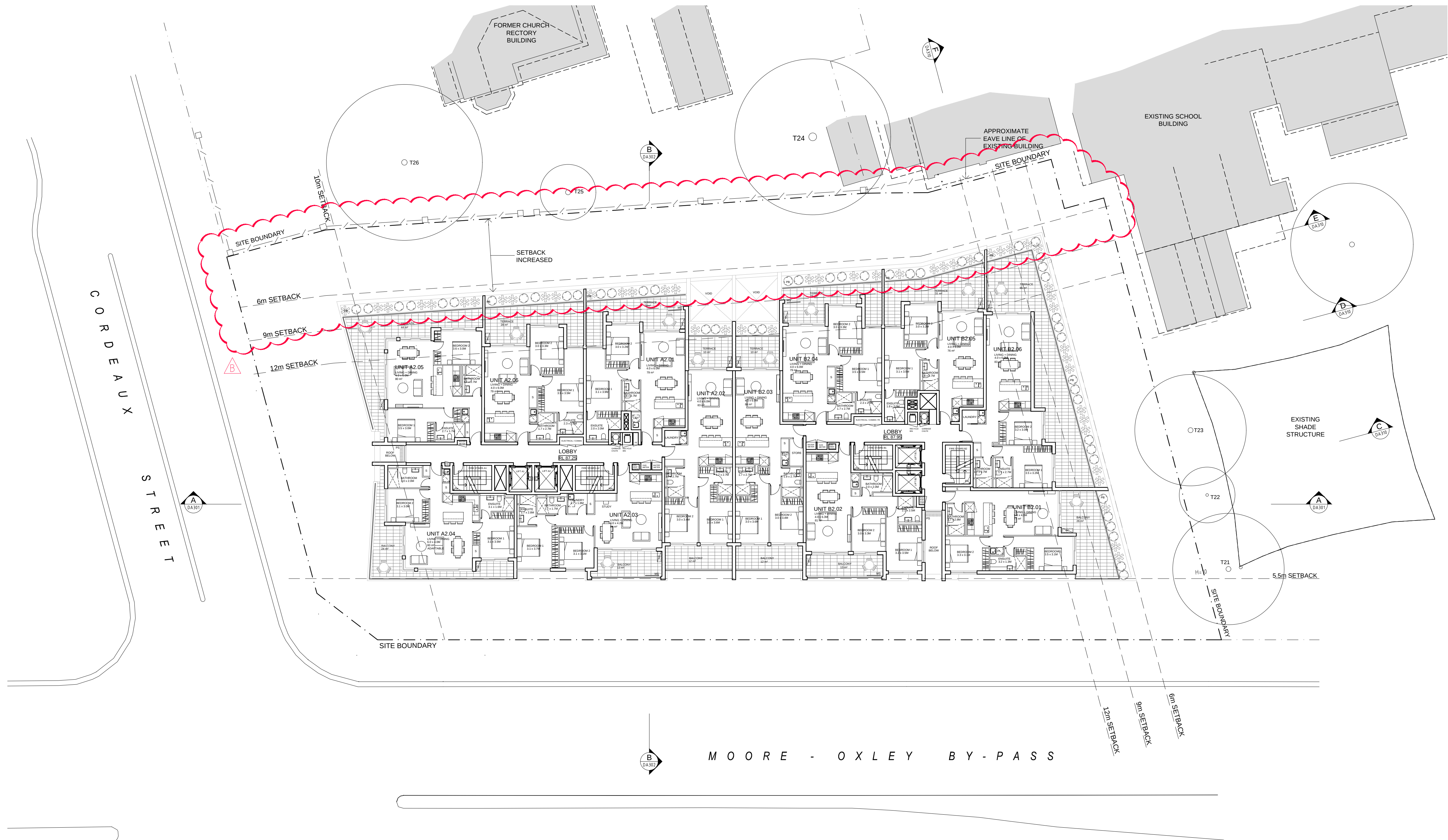
SCALE BAR

1:400 @ A3
1:200 @ A1

0 4 10m

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01.09.2016	ISSUE FOR DEVELOPMENT APPLICATION	A
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DEVELOPMENT APPLICATION

**28 CORDEAUX STREET,
CAMPBELLTOWN**

PROJECT No. 1530
CLIENT: PROPERTY LOGIC

SCALE BAR

1:400 @ A3
1:200 @ A1

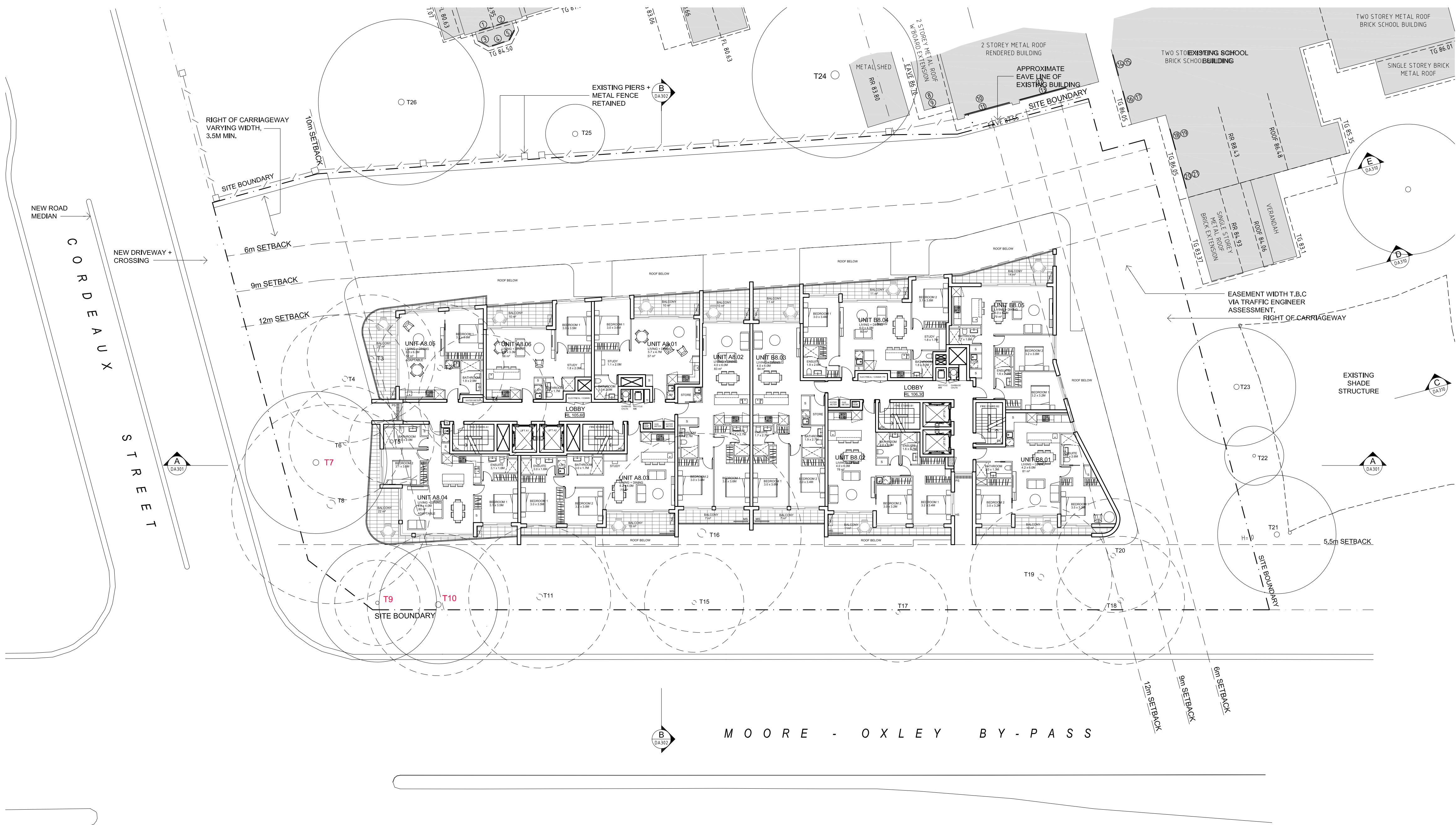
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DATE DESCRIPTION REVISION

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26.05.2017	ISSUE FOR COUNCIL RESPONSE	B

DA 104
LEVEL 2





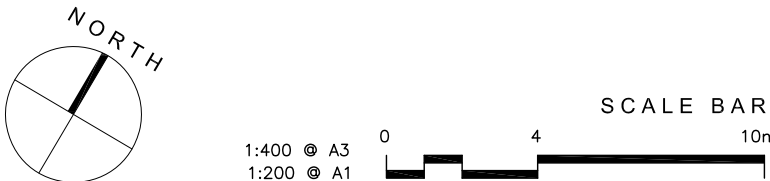
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 - MS MOBILE FEATURE SCREEN
 - OP OPAQUE GLAZING
 - PC PANEL CLADDING
 - PS METAL PRIVACY SCREEN (TO FUTURE SELECTION/DETAIL)
 - PT PAINT FINISH
 - RD ROLLER DOOR
 - RW RENDERED WALL/ SELECTED PAINT FINISH
 - SRW SCORED RENDERED WALL

DEVELOPMENT APPLICATION

**28 CORDEAUX STREET,
CAMPBELLTOWN**
PROJECT No. 1530
CLIENT: PROPERTY LOGIC



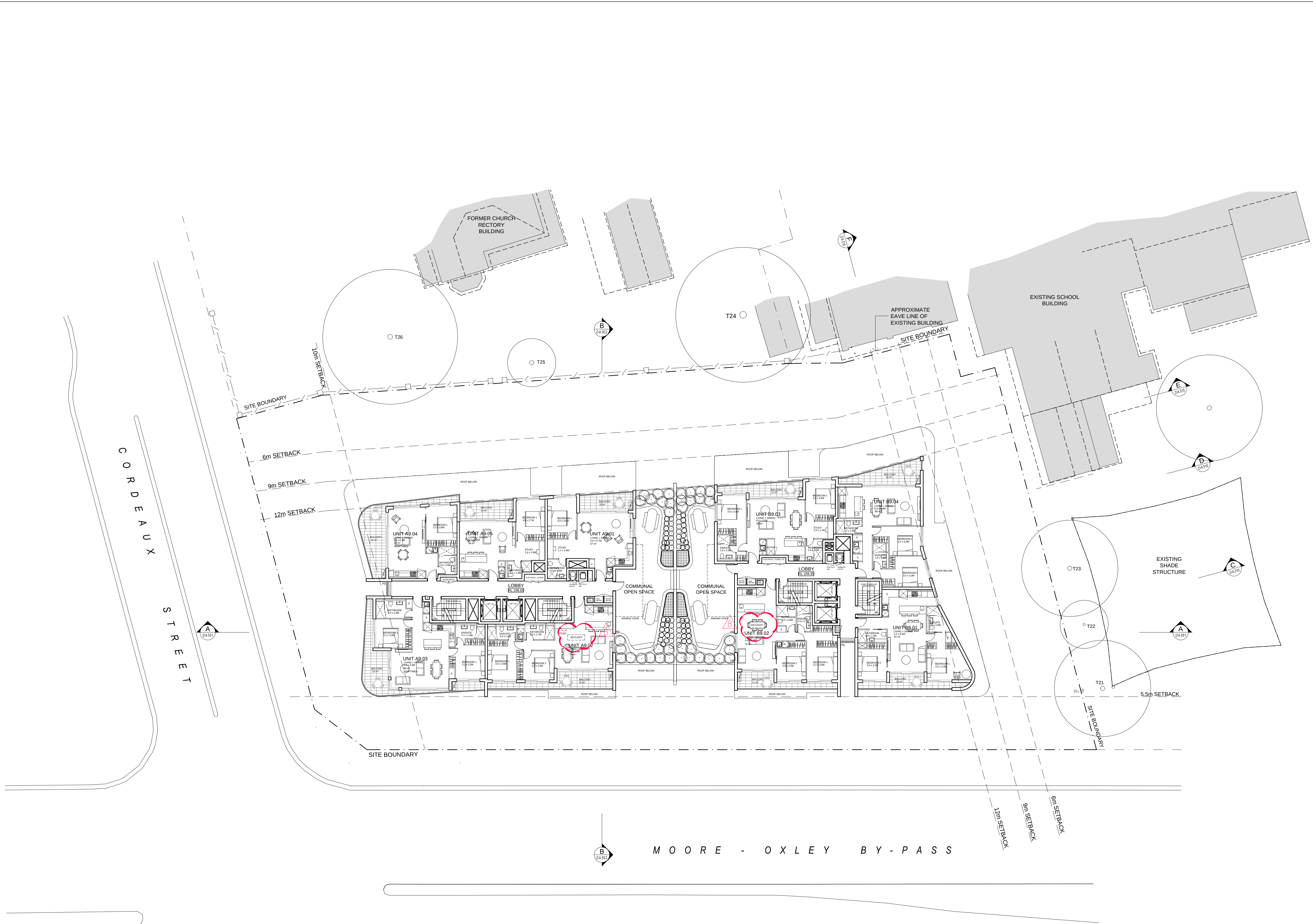
DATE	DESCRIPTION	REVISION
01.08.2016	ISSUE FOR DEVELOPMENT APPLICATION	A

**DA 106
LEVEL 8**

PBD | ARCHITECTS

A B N 36 147 035 550
P - (02) 9698 8140 E - info@pbdarchitects.com.au W - www.pbdarchitects.com.au
Level 2, 52 Albion Street, Surry Hills NSW 2010

Contractor to verify all dimensions on site before commencing work.
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- GENERAL NOTES:**
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 - Drawings for DEVELOPMENT APPLICATION purpose only and NOT FOR CONSTRUCTION
 - When proprietary products are referred to, install in accordance with the manufacturers written instructions
- PLAN LEGEND:**
- AW AWNING (TO FUTURE DETAIL)
 - B BOLLARD
 - ELEC ELECTRICAL SERVICES (TO FUTURE ENG'S DETAILS)
 - FE FIRE EXTINGUISHER
 - FG FLOOR GRATE
 - FH FIRE HYDRANT
 - VL FIXED VERTICAL LOUVRES
 - HS HIGHLIGHT WINDOW ABOVE WALL
 - LS LANDSCAPING (REFER TO LANDSCAPE ARCHITECTS DRAWINGS)
 - MA MAINTENANCE ACCESS
 - MB MAIL BOX TO FUTURE DETAIL
 - MS MOBILE SCREEN
 - MV MECHANICAL RISER (TBC BY CONSULTANT- PRELIMINARY LOCATION ONLY)
 - NGL NATURAL GROUND LEVEL
 - PB PLANTER BOX (TO FUTURE DETAIL)
 - PS PRIVACY SCREEN
 - SB SAFETY BARRIER (TBC BY CONSULTANT- PRELIMINARY LOCATION ONLY)
 - RP RIVER PEBBLES (FOR LOCATIONS ON FLAT CONC. ROOF WITH INSULATION AS REQUIRED)
 - SL SUN LOUVRE SYSTEM
 - CWT CENTRALISED WATER TANK TO FUTURE DETAIL
 - RWT RAINWATER TANK TO FUTURE DETAIL
 - R RECYCLE BINS
 - RT RETAINING WALL
 - TD TILT DOOR
- ELEVATIONS LEGEND:**
- AW AWNING (TO FUTURE DETAIL)
 - FB FACE BRICK
 - GB FRAMELESS TOUGHENED GLASS BALUSTRADE (TO BCA/ AUSTRALIAN STANDARDS)
 - HL HORIZONTAL LOUVRES
 - MF METAL FENCE
 - MS MOBILE FEATURE SCREEN
 - OP OPAQUE GLAZING
 - PC PANEL CLADDING
 - PS METAL PRIVACY SCREEN (TO FUTURE SELECTION/DETAIL)
 - PT PAINT FINISH
 - RD ROLLER DOOR
 - RW RENDERED WALL/ SELECTED PAINT FINISH
 - SRW SCORED RENDERED WALL

DEVELOPMENT APPLICATION

**28 CORDEAUX STREET,
CAMPBELLTOWN**

PROJECT No. 1530
CLIENT: PROPERTY LOGIC

SCALE BAR

1:400 @ A3
1:200 @ A1

0 4 10m

REVISION

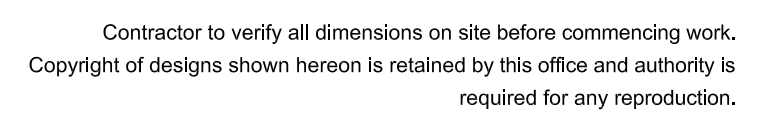
DATE	DESCRIPTION	REVISION
01.09.2016	ISSUE FOR DEVELOPMENT APPLICATION	A
26.05.2017	ISSUE FOR COUNCIL RESPONSE	B

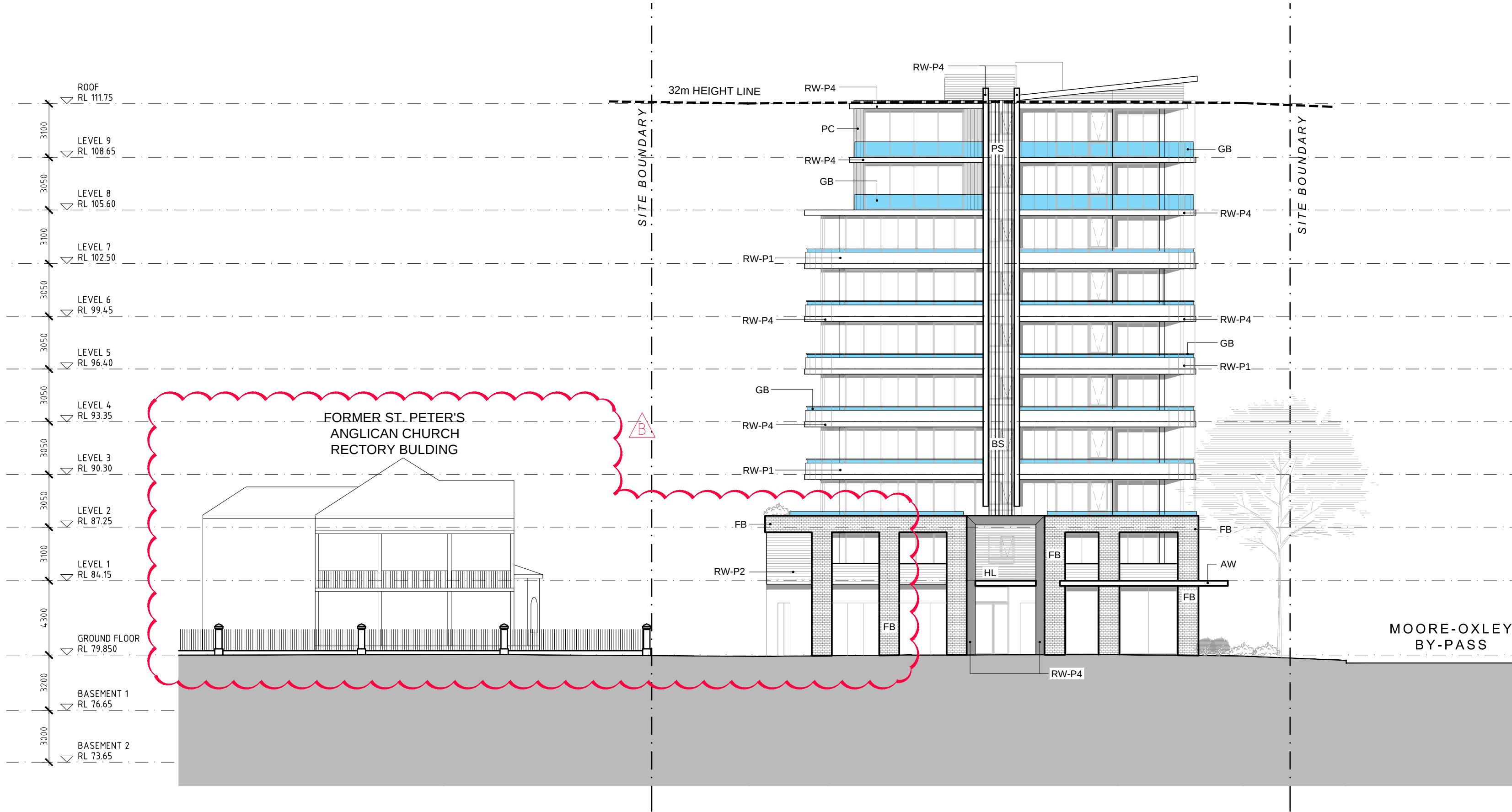
NOTE: STAIR + LIFT CORES CLARIFIED

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AW	AWNING (TO FUTURE DETAIL)
B	BOLLARD
ELEC	ELECTRICAL SERVICES (TO FUTURE ENG'S DETAILS)
FE	FIRE EXTINGUISHER
FG	FLOOR GRATE
FH	FIRE HYDRANT
VL	FIXED VERTICAL LOUVRES
HS	HIGHLIGHT WINDOW ABOVE WALL
LS	LANDSCAPING (REFER TO LANDSCAPE ARCHITECTS DRAWINGS)
MA	MAINTENANCE ACCESS
MB	MAILBOX TO FUTURE DETAIL
MS	MOBILE SCREEN
MS	MECHANICAL RISER (TBC BY CONSULTANT- PRELIMINARY LOCATION ONLY)
MSGL	MISCELLANEOUS GLASS
PB	PLANTER BOX (TO FUTURE DETAIL)
PS	PRIVACY SCREEN
PS	SAFETY HAZARD (TBC BY CONSULTANT- PRELIMINARY LOCATION ONLY)
RP	RIVER PEBBLES (FOR LOCATIONS ON FLAT CONC. ROOF WITH INSULATION AS REQUIRED)
SL	SUN LOUVER SYSTEM
CWT	CENTRALISED WATER TANK TO FUTURE DETAIL
RWT	RAINFALL WATER TANK TO FUTURE DETAIL
R	RECYCLE BINS
RT	RETAINING WALL
TD	TILT DOOR

AW	AWNING (TO FUTURE DETAIL)
FB	FACE BRICK
GB	FRAMELESS TOUNGHENED GLASS BALUSTRADE (TO BCA/ AUSTRALIAN STANDARDS)
HL	HORIZONTAL LOUVRES
MF	METAL FENCE
MS	MOBILE FEATURE SCREEN
OP	OPAQUE GLAZING
PC	PANEL CLADDING
PS	PAINT PRIVACY SCREEN (TO FUTURE SELECTION/DETAIL)
PT	PANT FINISH
RD	ROLLER DOOR
RW	RENDERED WALL/ SELECTED PAINT FINISH
SRW	SCORED RENDERED WALL





01 WEST ELEVATION
1:200

GENERAL NOTES:

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PLAN LEGEND:

AW	AWNING (TO FUTURE DETAIL)
B	BOLLARD
ELEC	ELECTRICAL SERVICES (TO FUTURE ENG'S DETAILS)
FE	FIRE EXTINGUISHER
FG	FLOOR GRATE
FH	FIRE HYDRANT
VL	FIXED VERTICAL LOUVRES
HS	HIGHLIGHT WINDOW ABOVE WALL
LS	LANDSCAPING (REFER TO LANDSCAPE ARCHITECTS DRAWINGS)
MA	MAINTENANCE ACCESS
MB	MAIL BOX TO FUTURE DETAIL
MS	MOBILE SCREEN
MV	MECHANICAL RISER (TBC BY CONSULTANT- PRELIMINARY LOCATION ONLY)
NGL	NATURAL GROUND LEVEL
PB	PLANTER BOX (TO FUTURE DETAIL)
PS	PRIVACY SCREEN
SB	SAFETY BARRIER (TBC BY CONSULTANT- PRELIMINARY LOCATION ONLY)
RP	RIVER PEBBLES (FOR LOCATIONS ON FLAT CONC. ROOF WITH INSULATION AS REQUIRED)
SL	SUN LOUVRE SYSTEM
CWT	CENTRALISED WATER TANK TO FUTURE DETAIL
RWT	RAINWATER TANK TO FUTURE DETAIL
R	RECYCLE BINS
RT	RETAINING WALL
TD	TILT DOOR

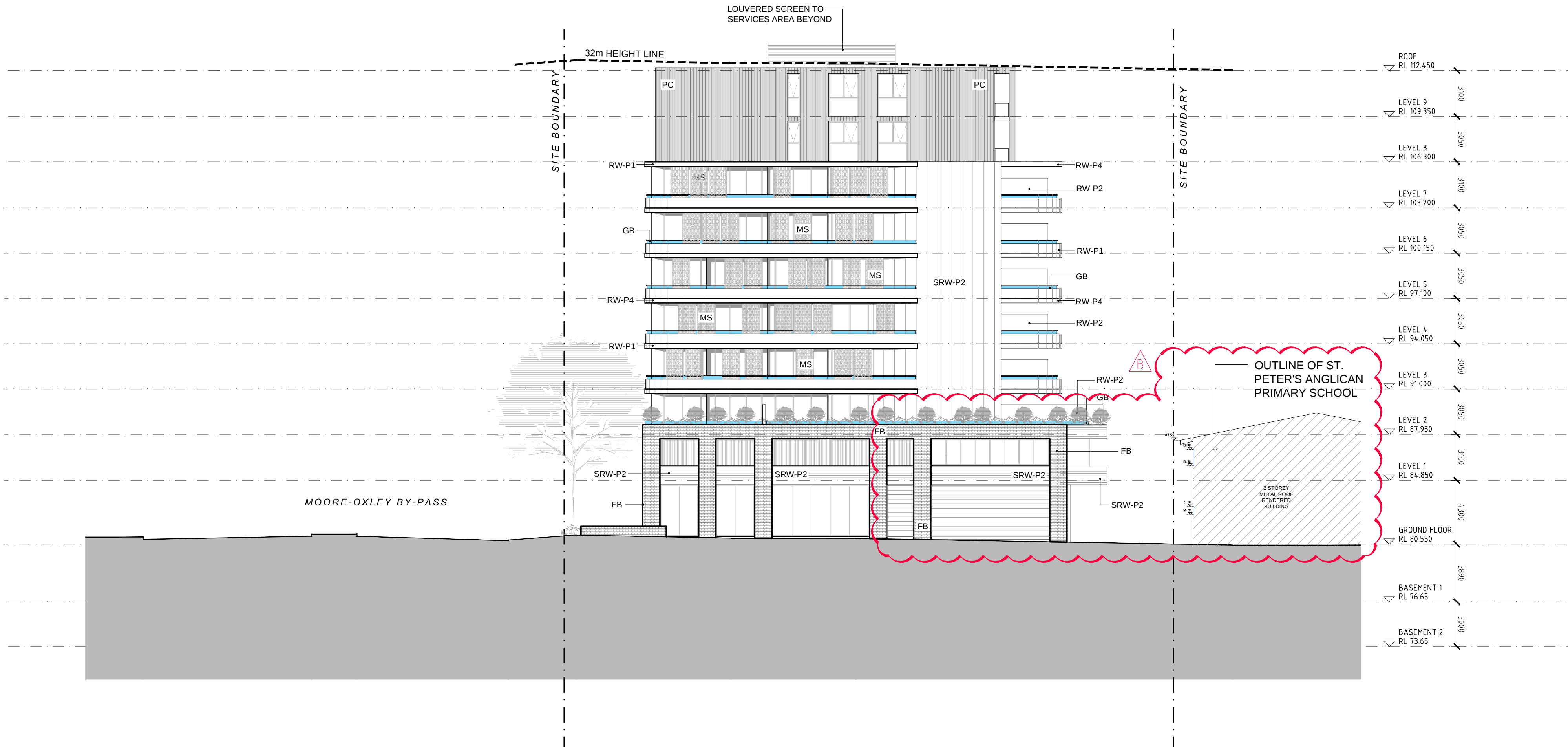
ELEVATIONS LEGEND:

AW	AWNING (TO FUTURE DETAIL)
FB	FACE BRICK
GB	FRAMELESS TOUGHENED GLASS BALUSTRADE (TO BCA/ AUSTRALIAN STANDARDS)
HL	HORIZONTAL LOUVRES
MF	METAL FENCE
MS	MOBILE FEATURE SCREEN
OP	OPAQUE GLAZING
PC	PANEL CLADDING
PS	METAL PRIVACY SCREEN (TO FUTURE SELECTION/DETAIL)
PT	PAINT FINISH
RD	ROLLER DOOR
RW	RENDERED WALL/ SELECTED PAINT FINISH
SRW	SCORED RENDERED WALL

BASIX COMMITMENTS NOTES				
* TO BE READ IN CONJUNCTION WITH APPROVED BASIX REPORT*				
WATER	Features	All Shower Heads	All toilet flushing systems	All kitchen taps
		3 star (4 star = 3.5, 4 min)	4 star	4 star
Fire Sprinkler	Must be configured so that fire sprinkler test water is contained within the fire sprinkler system for re-use, rather than disposed			
Appliances:	Dishwashers - 4.5 star energy rating			
ENERGY	Hot water system: Central Gas Storage - Refer to approved BASIX			
	Bathroom ventilation system: Individual fan, ducted to façade or roof manual switch on/off			
	Kitchen ventilation system: Individual fan, not ducted manual switch on/off			
REFER TO APPROVED BASIX	Laundry ventilation system: Individual fan, ducted to façade or roof manual switch on/off			
	Cooling system: air-conditioning 1 Phase - EER 2.5 - 3.0 - to living areas only			
	Heating system: air-conditioning 1 Phase - EER 2.5 - 3.0 - to living areas only			
	Artificial lighting: As per BASIX			
	Natural lighting: As per BASIX			
	Appliances: Gas cooktop & electric oven			
	Dishwashers: 3.5 star energy rating			
COMMON AREAS	Refer to approved BASIX cert			

NATHERS - THERMAL COMFORT SUMMARY

Building Elements	Material	Detail
External walls	Helix+ Furring Channel + Insulation + Plasterboard	• R1.5 Bulk Insulation to all units except as nominated below • R2.5 Bulk Insulation to Units A304 / A404 / A504 / A604 / A704 / A804 / A904
Internal walls within units	Plasterboard on studs	-
Common walls between Units	Helix+ Furring Channel + Plasterboard	-
Common walls between Units & Fire Stairs/Lift Shaft	200mm Concrete+ Furring Channel + Insulation + Plasterboard	• R1.5 Bulk Insulation except as nominated below • R2.5 Bulk Insulation to Units A704 / A804 / A904
Ceilings	Plasterboard	-
Roof - L1 & 7	Concrete - insulation to concrete exposed to external environment	R2.0 Bulk Insulation
Roof - L1 and Top Floor Roof	Concrete	R3.5 Bulk Insulation
Floors	Concrete	R1.5 Bulk Insulation to floor suspended over open carparking / loading / driveway for Units A105 / A106 / A107 / A108 / A109 / A110 / A111 / A112 / A113 / A114 / A115 / A116 / A117 / A118 / A119 / A120 / A121 / A122 / A123 / A124 / A125 / A126 / A127 / A128 / A129 / A130 / A131 / A132 / A133 / A134 / A135 / A136 / A137 / A138 / A139 / A140 / A141 / A142 / A143 / A144 / A145 / A146 / A147 / A148 / A149 / A150 / A151 / A152 / A153 / A154 / A155 / A156 / A157 / A158 / A159 / A160 / A161 / A162 / A163 / A164 / A165 / A166 / A167 / A168 / A169 / A170 / A171 / A172 / A173 / A174 / A175 / A176 / A177 / A178 / A179 / A180 / A181 / A182 / A183 / A184 / A185 / A186 / A187 / A188 / A189 / A190 / A191 / A192 / A193 / A194 / A195 / A196 / A197 / A198 / A199 / A200 / A201 / A202 / A203 / A204 / A205 / A206 / A207 / A208 / A209 / A210 / A211 / A212 / A213 / A214 / A215 / A216 / A217 / A218 / A219 / A220 / A221 / A222 / A223 / A224 / A225 / A226 / A227 / A228 / A229 / A230 / A231 / 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01 EAST ELEVATION
1:200

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- When proprietary products are referred to, install in accordance with the manufacturers written instructions

PLAN LEGEND:

AW	AWNING (TO FUTURE DETAIL)
B	BOLLARD
ELEC	ELECTRICAL SERVICES (TO FUTURE ENG'S DETAILS)
FE	FIRE EXTINGUISHER
FG	FLOOR GRATE
FH	FIRE HYDRANT
VL	FIXED VERTICAL LOUVRES
HS	HIGHLIGHT WINDOW ABOVE WALL
LS	LANDSCAPING (REFER TO LANDSCAPE ARCHITECTS DRAWINGS)
MA	MAINTENANCE ACCESS
MB	MAIL BOX TO FUTURE DETAIL
MS	MOBILE SCREEN
MV	MECHANICAL RISER (TBC BY CONSULTANT- PRELIMINARY LOCATION ONLY)
NGL	NATURAL GROUND LEVEL
PB	PLANTER BOX (TO FUTURE DETAIL)
PS	PRIVACY SCREEN
SB	SAFETY BARRIER (TBC BY CONSULTANT- PRELIMINARY LOCATION ONLY)
RP	RIVER PEBBLES (FOR LOCATIONS ON FLAT CONC. ROOF WITH INSULATION AS REQUIRED)
SL	SUN LOUVER SYSTEM
CWT	CENTRALISED WATER TANK TO FUTURE DETAIL
RWT	RAINWATER TANK TO FUTURE DETAIL
R	RECYCLE BINS
RT	RETAINING WALL
TD	TILT DOOR

ELEVATIONS LEGEND:

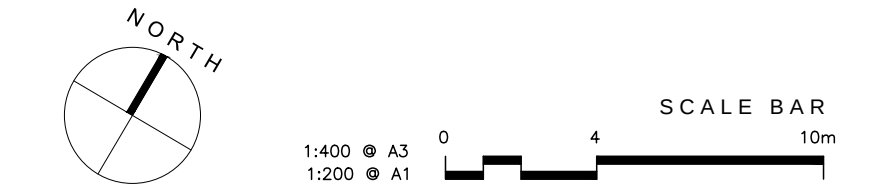
AW	AWNING (TO FUTURE DETAIL)
FB	FACE BRICK
GB	FRAMELESS TOUGHENED GLASS BALUSTRADE (TO BCA/ AUSTRALIAN STANDARDS)
HL	HORIZONTAL LOUVRES
MF	METAL FENCE
MS	MOBILE FEATURE SCREEN
OP	OPAQUE GLAZING
PC	PANEL CLADDING
PS	METAL PRIVACY SCREEN (TO FUTURE SELECTION/DETAIL)
PT	PAINT FINISH
RD	ROLLER DOOR
RW	RENDERED WALL/ SELECTED PAINT FINISH
SRW	SCORED RENDERED WALL

BASIX COMMITMENTS NOTES				
* TO BE READ IN CONJUNCTION WITH APPROVED BASIX REPORT*				
WATER	All Shower Heads	All toilet flushing systems	All kitchen taps	All bathroom taps
Features	3 star (or better) 7.5L/min	4 star	4 star	4 star
Fire Sprinkler	Must be configured so that fire sprinkler test water is contained within the fire sprinkler system for re-use, rather than disposed			
Appliances:	Dishwashers: 4.5 star energy rating			
ENERGY	Hot water system: Central Gas Storage - Refer to approved BASIX			
	Bathroom ventilation system: Individual fan, ducted to facade or roof manual switch on/off			
	Kitchen ventilation system: Individual fan, not ducted manual switch on/off			
REFER TO APPROVED BASIX	Laundry ventilation system: Individual fan, ducted to facade or roof manual switch on/off			
	Cooling system: air-conditioning 1 Phase - EER 2.5 - 3.0 - to living areas only			
	Heating system: air-conditioning 1 Phase - EER 2.5 - 3.0 - to living areas only			
	Artificial lighting: As per BASIX			
	Natural lighting: As per BASIX			
	Appliances: Gas cooktop & electric oven			
	Dishwashers: 3.5 star energy rating			
COMMON AREAS	Refer to approved BASIX report			

NATHERS - THERMAL COMFORT SUMMARY		
Building Elements	Material	Detail
External walls	Helix Furring Channel + Insulation + Plasterboard	R1.5 Bulk Insulation to all units except as nominated below R2.5 Bulk Insulation to Units A304 / A404 / A404 / A304 / A304 / A304 / A304
Internal walls within units	Plasterboard on studs	-
Common walls between Units	Helix Furring Channel + Plasterboard	-
Common walls between Units & Fire Stair/Lift Shaft	200mm Concrete Furring Channel + Insulation + Plasterboard	R1.5 Bulk Insulation except as nominated below R2.5 Bulk Insulation to Units A704 / A804 / A804
Ceilings	Plasterboard	-
Roof - L1 & 7	Concrete - insulation to concrete exposed to external environment	R2.0 Bulk Insulation
Roof - L6 and Top Floor Roof	Concrete	R3.5 Bulk Insulation
Floors	Concrete	R1.5 Bulk Insulation to floor suspended over open carparking / loading / driveway for Units A105 / A105 / A106 / B106 / B106 / B106 U value 0.70 or less and a SHGC of 0.70 +/- 5% (to all units except as nominated below)
Windows	Aluminium framed, single glazed clear - Sliding Windows / Doors / fixed glazing Aluminium framed, single glazed clear - Awning Windows / Hinged Doors Aluminium framed, single glazed, high solar gain Low E - Sliding Windows / Doors / fixed glazing	U value 6.70 or less and a SHGC of 0.57 +/- 5% U value 5.4 or less and a SHGC of 0.58 +/- 5% To units A104 / A204 / A304 / A404 / A404 / A404 / A704 / A804 / A903
Lighting: These Units must use non ventilated LED downlights as per Individual Nather's Certificates if proposed Bathroom / Ensuite / Laundry exhaust fans to have self-closing dampers		

DEVELOPMENT APPLICATION

28 CORDEAUX STREET,
CAMPBELLTOWN
PROJECT No. 1530
CLIENT: PROPERTY LOGIC



DATE	DESCRIPTION	REVISION
01.09.2016	ISSUE FOR DEVELOPMENT APPLICATION	A
26.05.2017	ISSUE FOR COUNCIL RESPONSE	B

DA 202
EAST ELEVATION

PBD | ARCHITECTS

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Level 2, 52 Albion Street, Surry Hills NSW 2010

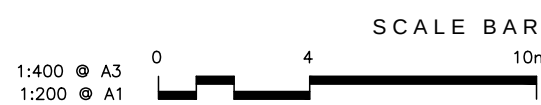
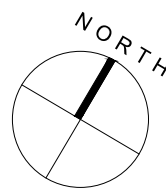
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- ELEVATIONS LEGEND:**
- | | |
|-----|---|
| AW | AWNING (TO FUTURE DETAIL) |
| FB | FACE BRICK |
| GB | FRAMELESS TOUGHENED GLASS BALUSTRADE
(TO BCA AUSTRALIAN STANDARDS) |
| HL | HORIZONTAL LOUVRES |
| MF | METAL FENCE |
| MS | MOBILE FEATURE SCREEN |
| OP | OPAQUE GLAZING |
| PC | PANEL CLADDING |
| PS | METAL PRIVACY SCREEN (TO FUTURE SELECTION/DETAIL) |
| PT | PAINT FINISH |
| RD | ROLLER DOOR |
| RW | RENDERED WALL/ SELECTED PAINT FINISH |
| SRW | SCORED RENDERED WALL |

BASIX COMMUNICATIONS NOTES * TO BE READ IN CONJUNCTION WITH APPROVED BASIX REPORT*				
WATER				
Fixtures	All Shower Heads 3.5 gpm @ 150 PSI (max)	All toilet flushing systems 4 star	All kitchen taps 4 star	All bathroom taps 4 star
Fire Sprinkler	Must be configured so that fire sprinkler test water is contained within the fire sprinkler system for re-use, rather than disposed			
Appliances:	Dishwashers - 4.5 star water rating			
ENERGY	Hot water system: Central Gas Storage – Refer to approved BASIX Kitchen ventilation system: Individual fan, ducted to facade or roof manual switch on/off Kitchen ventilation system: Individual fan, not ducted manual switch on/off Laundry ventilation system: Individual fan, ducted to facade or roof manual switch on/off Cooling system: air-conditioning 1 Phase – ER 2.5 – 3.0 – to living areas only Heating system: air-conditioning 1 Phase – ER 2.5 – 3.0 – to living areas only Artificial lighting: as per BASIX Natural lighting: As per BASIX Appliances: Gas cooktop & electric oven Dishwashers – 3.5 star energy rating Refer to approved BASIX cert			
REFER TO APPROVED BASIX				
COMMON AREAS				

Building Elements	Material	Detail
External walls	Hebel-Furring Channel + Insulation + Plasterboard	• R1.5 Bulk Insulation to all units except as nominated below • R2.5 Bulk Insulation to Units A300 / A400 / A500 / A600 / A700 / A800 / A903
Internal walls within units	Plasterboard on studs	-
Common walls between Units	Hebel + Furring Channel + Plasterboard	-
Common walls between Units & Fire Stair/Lift Shaft	200mm Concrete, Furring Channel + Insulation + Plasterboard	-
Common walls between Units	Plasterboard	• R2.5 Bulk Insulation except as nominated below • R2.5 Bulk Insulation to Units A700 / A800 / A903
Ceilings	Concrete insulation to concrete exposed to external environment	R2.0 Bulk Insulation
Roof - L1 & 7	Concrete	R1.5 Bulk Insulation
Roof - L1 and Top Floor Roof	Concrete	R1.5 Bulk Insulation to Roof suspended over open carparking / loading / delivery area Units A100 / A150 / A160 / B100 / B150 / B160
Windows	Aluminium framed, single glazed clear - Sliding Window / Doors / fixed glazing	U value 0.70 or less & SHGC of 0.70 - 0.51 (to all units except as nominated below)
	Aluminium framed, single glazed clear - Awning Window / Hinged Doors	U value 0.70 or less & SHGC of 0.57 - 0.51
	Aluminium framed, single glazed, high solar gain Low E - Sliding Window / Doors / fixed glazing	U value 0.54 or less and a SHGC of 0.58 - 0.51
	Aluminium framed, single glazed, high solar gain Low E - Sliding Window / Doors / fixed glazing	U value 0.54 or less and a SHGC of 0.58 - 0.51
Lighting	These Units must not use verifiatted LED downlights or per Individual NRECFR Certificates (if proposed)	U value 0.54 or less and a SHGC of 0.58 - 0.51

PROJECT No. 1530
PROPERTY LOGIC

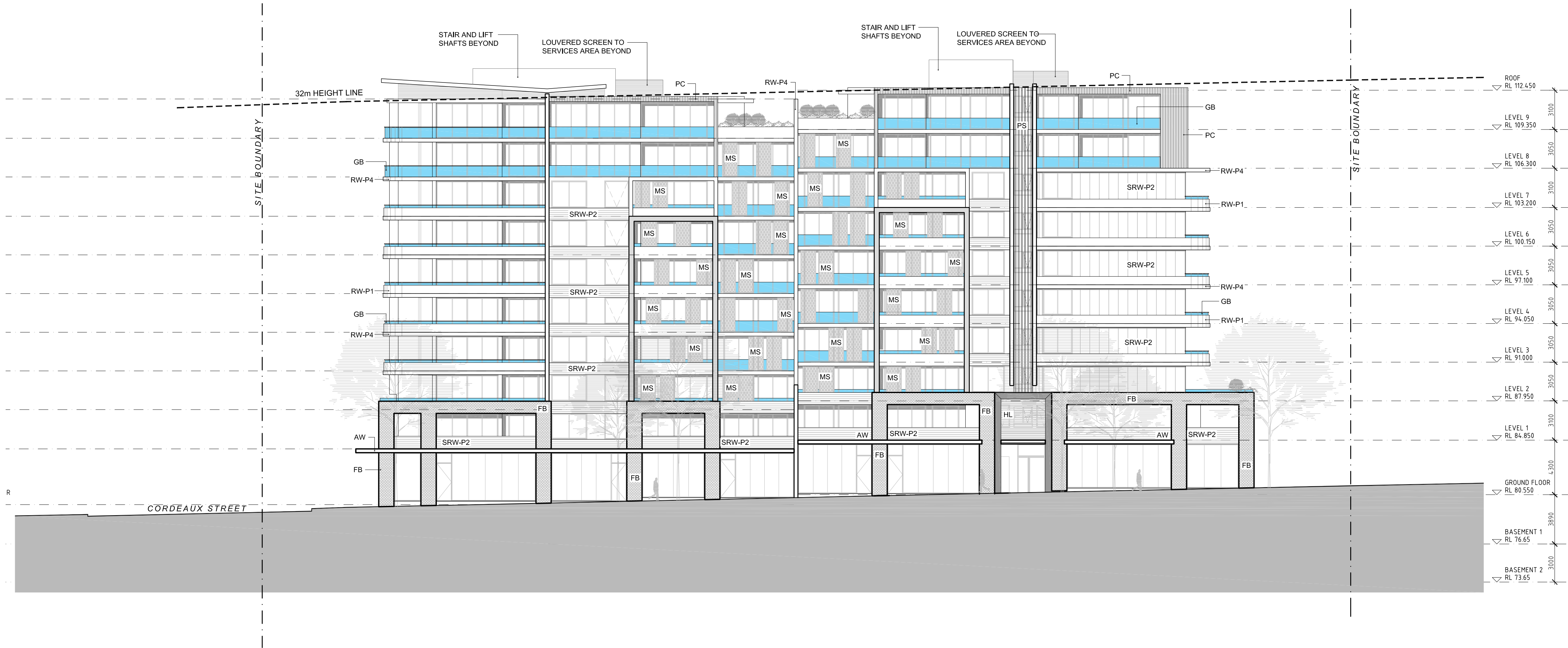
DATE	DESCRIPTION	REVISION
01.09.2016	ISSUE FOR DEVELOPMENT APPLICATION	A
26.05.2017	ISSUE FOR COUNCIL RESPONSE	B

DA 203
NORTH ELEVATION

PBD | ARCHITECTS

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01 SOUTH ELEVATION
1:200

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PLAN LEGEND:

AW	AWNING (TO FUTURE DETAIL)
B.	BOLLARD
ELEC	ELECTRICAL SERVICES (TO FUTURE ENG'S DETAILS)
FE	FIRE EXTINGUISHER
FG	FLOOR GRATE
FH	FIRE HYDRANT
VL	FIXED VERTICAL LOUVRES
HS	HIGHLIGHT WINDOW ABOVE WALL
LS	LANDSCAPING (REFER TO LANDSCAPE ARCHITECTS DRAWINGS)
MA	MAINTENANCE ACCESS
MB	MAIL BOX TO FUTURE DETAIL
MS	MOBILE SCREEN
MV	MECHANICAL RISER (TBC BY CONSULTANT- PRELIMINARY LOCATION ONLY)
NGL	NATURAL GROUND LEVEL
PB	PLANTER BOX (TO FUTURE DETAIL)
PS	PRIVACY SCREEN
SB	SAFETY BARRIER (TBC BY CONSULTANT- PRELIMINARY LOCATION ONLY)
RP	RIVER PEBBLES (FOR LOCATIONS ON FLAT CONC. ROOF WITH INSULATION AS REQUIRED)
SL	SUN LOUVER SYSTEM
CWT	CENTRALISED WATER TANK TO FUTURE DETAIL
RWT	RAINWATER TANK TO FUTURE DETAIL
R	RECYCLE BINS
RT	RETAINING WALL
TD	TILT DOOR

ELEVATIONS LEGEND:

AW	AWNING (TO FUTURE DETAIL)
FB	FACE BRICK
GB	FRAMELESS TOUGHENED GLASS BALUSTRADE (TO BCA/ AUSTRALIAN STANDARDS)
HL	HORIZONTAL LOUVRES
MF	METAL FENCE
MS	MOBILE FEATURE SCREEN
OP	OPAQUE GLAZING
PC	PANEL CLADDING
PS	METAL PRIVACY SCREEN (TO FUTURE SELECTION/DETAIL)
PT	PAINT FINISH
RD	ROLLER DOOR
RW	RENDERED WALL/ SELECTED PAINT FINISH
SRW	SCORED RENDERED WALL

BASIX COMMITMENTS NOTES

* TO BE READ IN CONJUNCTION WITH APPROVED BASIX REPORT*				
WATER	Features	All Shower Heads 3 star (0.8-1.5L/min)	All toilet flushing systems 4 star	All kitchen taps 4 star
Fire Sprinkler	Must be configured so that fire sprinkler test water is contained within the fire sprinkler system for re-use, rather than disposed			
Appliances:	Dishwashers - 3.5 star energy rating			
ENERGY	Hot water system: Central Gas Storage - Refer to approved BASIX			
	Bathroom ventilation system: Individual fan, ducted to facade or roof manual switch on/off			
	Kitchen ventilation system: Individual fan, not ducted manual switch on/off			
REFER TO APPROVED BASIX	Laundry ventilation system: Individual fan, ducted to facade or roof manual switch on/off			
	Cooling systems: air-conditioning 1 Phase - EER 2.5 - 3.0 - to living areas only			
	Heating systems: air-conditioning 1 Phase - EER 2.5 - 3.0 - to living areas only			
	Artificial lighting: As per BASIX			
	Natural lighting: As per BASIX			
	Appliances: Gas cooktop & electric oven Dishwashers: 3.5 star energy rating			
COMMON AREAS	Refer to approved BASIX doc			

NATHERS - THERMAL COMFORT SUMMARY

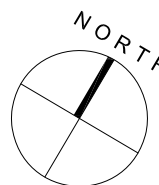
Building Elements	Material	Detail
External walls	Hebel+ Furring Channel + Insulation + Plasterboard	R1.5 Bulk Insulation to all units except as nominated below R2.5 Bulk Insulation to Units A304 / A404 / A504 / A604 / A704 / A804 / A904
Internal walls within units	Plasterboard on studs	-
Common walls between Units	Hebel + Furring Channel + Plasterboard	-
Common walls between Units & Fire Stairs/Lift Shafts	200mm Concrete+ Furring Channel + Insulation + Plasterboard	R1.5 Bulk Insulation except as nominated below R2.5 Bulk Insulation to Units A704 / A804 / A904
Ceilings	Plasterboard	-
Roof - L1 & 7	Concrete - insulation to concrete exposed to external environment	R2.0 Bulk Insulation
Roof - L8 and Top Floor Roof	Concrete	R3.5 Bulk Insulation
Floors	Concrete	R1.5 Bulk Insulation to floor suspended over open carparking / loading / driveway for Units A101 / A105 / A106 / B106 / B107 / B108
Windows	Aluminium framed, single glazed clear - Sliding Windows / Doors / fixed glazing Aluminium framed, single glazed clear - Awning Windows / Hinged Doors Aluminium framed, single glazed, high solar gain Low E - Sliding Windows / Doors / fixed glazing	U value 6.70 or less and a SHGC of 0.70 +/- 5% (to all units except as nominated below) U value 6.70 or less and a SHGC of 0.57 +/- 5% U value 5.4 or less and a SHGC of 0.58 +/- 5% To units A104 / A204 / A304 / A404 / A504 / A604 / A704 / A804 / A904
Lighting: These Units must use non ventilated LED downlights as per Individual NatHERS Certificates if proposed Bathroom / Ensuite / Laundry exhaust fans to have self-closing dampers		

DEVELOPMENT APPLICATION

28 CORDEAUX STREET,
CAMPBELLTOWN

PROJECT No. 1530

CLIENT: PROPERTY LOGIC



SCALE BAR
1:400 @ A3
1:200 @ A1
0 4 10m

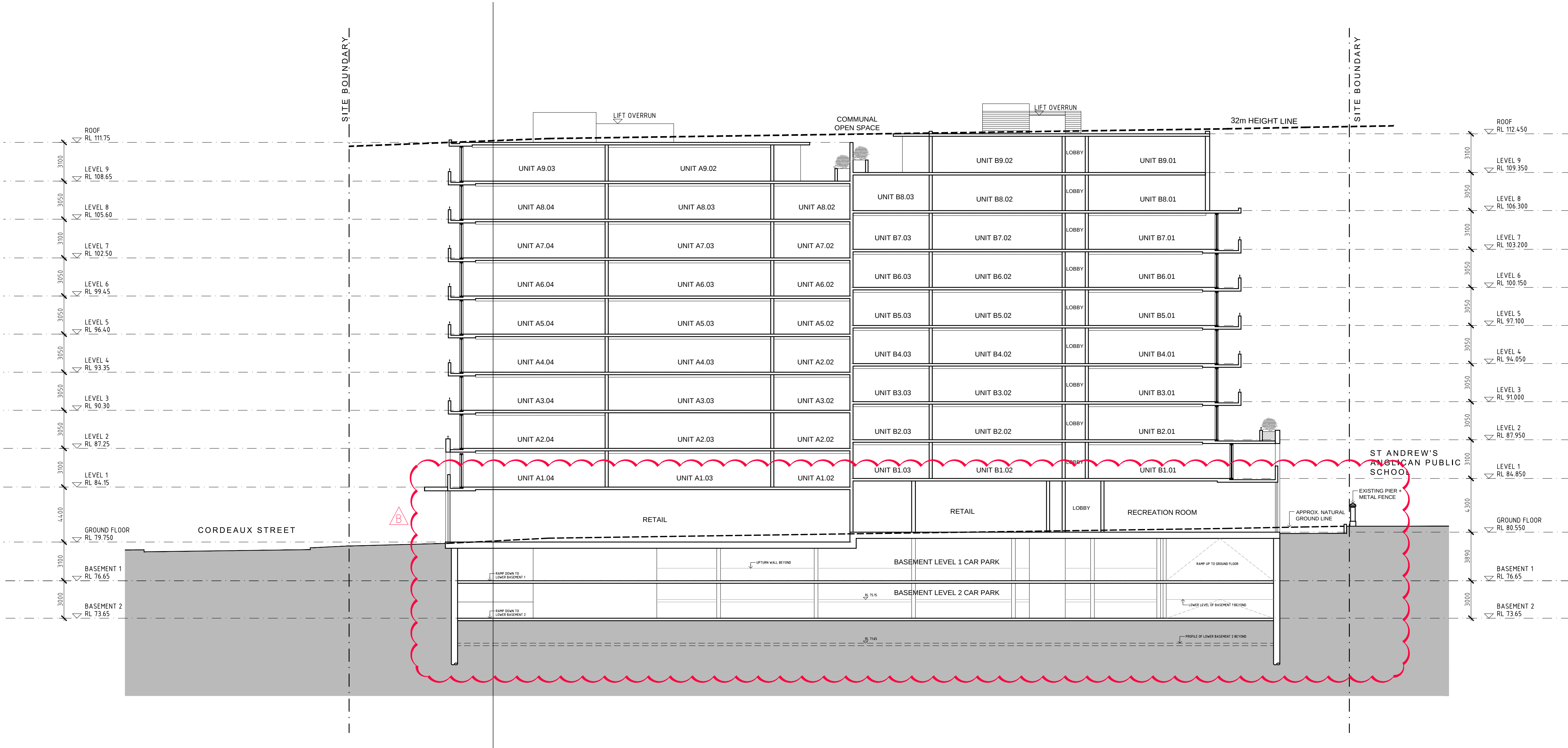
DATE	DESCRIPTION	REVISION
01.08.2016	ISSUE FOR DEVELOPMENT APPLICATION	A

DA 204
SOUTH ELEVATION

PBD | ARCHITECTS

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 - ELEC ELECTRICAL SERVICES (TO FUTURE ENG'S DETAILS)
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 - FG FLOOR GRATE
 - FH FIRE HYDRANT
 - VL FIXED VERTICAL LOUVRES
 - HS HIGHLIGHT WINDOW ABOVE WALL
 - LS LANDSCAPING (REFER TO LANDSCAPE ARCHITECTS DRAWINGS)
 - MA MAINTENANCE ACCESS
 - MB MAIL BOX TO FUTURE DETAIL
 - MS MOBILE SCREEN
 - MV MECHANICAL RISER (TBC BY CONSULTANT- PRELIMINARY LOCATION ONLY)
 - NGL NATURAL GROUND LEVEL
 - PB PLANTER BOX (TO FUTURE DETAIL)
 - PS PRIVACY SCREEN
 - SB SAFETY BARRIER (TBC BY CONSULTANT- PRELIMINARY LOCATION ONLY)
 - RP RIVER PEBBLES (FOR LOCATIONS ON FLAT CONC. ROOF WITH INSULATION AS REQUIRED)
 - SL SUN LOUVRE SYSTEM
 - CWT CENTRALISED WATER TANK TO FUTURE DETAIL
 - RWT RAINWATER TANK TO FUTURE DETAIL
 - R RECYCLE BINS
 - RT RETAINING WALL
 - TD TILT DOOR
- ELEVATIONS LEGEND:**
- AW AWNING (TO FUTURE DETAIL)
 - FB FACE BRICK
 - GB FRAMELESS TOUGHENED GLASS BALUSTRADE (TO BCA/ AUSTRALIAN STANDARDS)
 - HL HORIZONTAL LOUVRES
 - MF METAL FENCE
 - MS MOBILE FEATURE SCREEN
 - OP OPAQUE GLAZING
 - PC PANEL CLADDING
 - PS METAL PRIVACY SCREEN (TO FUTURE SELECTION/DETAIL)
 - PT PAINT FINISH
 - RD ROLLER DOOR
 - RW RENDERED WALL/ SELECTED PAINT FINISH
 - SRW SCORED RENDERED WALL

DEVELOPMENT APPLICATION

**28 CORDEAUX STREET,
CAMPBELLTOWN**

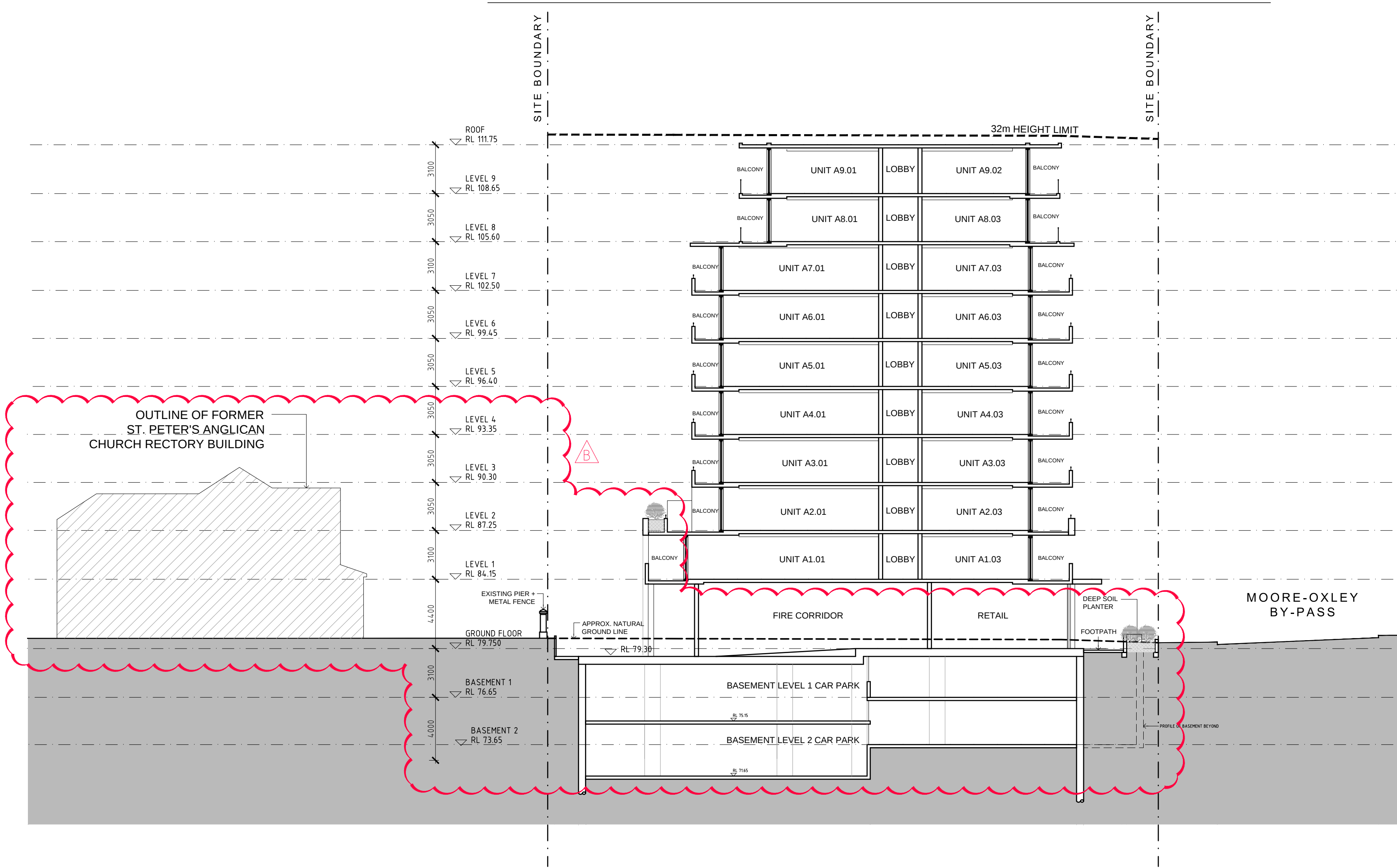
PROJECT No. 1530
CLIENT: PROPERTY LOGIC

SCALE BAR

1:400 @ A3
1:200 @ A1

REVISION

DATE	DESCRIPTION	REVISION
01.09.2016	ISSUE FOR DEVELOPMENT APPLICATION	A
26.05.2017	ISSUE FOR COUNCIL RESPONSE	B



GENERAL NOTES:

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PLAN LEGEND:

AW	AWNING (TO FUTURE DETAIL)
B.	BOLLARD
ELEC	ELECTRICAL SERVICES (TO FUTURE ENG'S DETAILS)
FE	FIRE EXTINGUISHER
FG	FLOOR GRATE
FH	FIRE HYDRANT
VL	FIXED VERTICAL LOUVRES
HS	HIGHLIGHT WINDOW ABOVE WALL
LS	LANDSCAPING (REFER TO LANDSCAPE ARCHITECTS DRAWINGS)
MA	MAINTENANCE ACCESS
MB	MAIL BOX TO FUTURE DETAIL
MS	MOBILE SCREEN
MV	MECHANICAL RISER (TBC BY CONSULTANT- PRELIMINARY LOCATION ONLY)
NGL	NATURAL GROUND LEVEL
PB	PLANTER BOX (TO FUTURE DETAIL)
PS	PRIVACY SCREEN
SB	SAFETY BARRIER (TBC BY CONSULTANT- PRELIMINARY LOCATION ONLY)
RP	RIVER PEBBLES (FOR LOCATIONS ON FLAT CONC. ROOF WITH INSULATION AS REQUIRED)
SL	SUN LOUVRE SYSTEM
CWT	CENTRALISED WATER TANK TO FUTURE DETAIL
RWT	RAINWATER TANK TO FUTURE DETAIL
R	RECYCLE BINS
RT	RETAINING WALL
TD	TLT DOOR

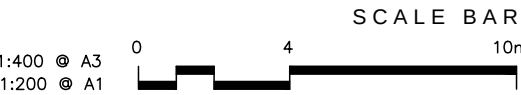
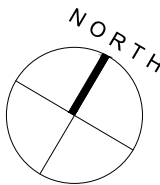
ELEVATIONS LEGEND:

AW	AWNING (TO FUTURE DETAIL)
FB	FACE BRICK
GB	FRAMELESS TOUGHENED GLASS BALUSTRADE (TO BCA/ AUSTRALIAN STANDARDS)
HL	HORIZONTAL LOUVRES
MF	METAL FENCE
MS	MOBILE FEATURE SCREEN
OP	OPAQUE GLAZING
PC	PANEL CLADDING
PS	METAL PRIVACY SCREEN (TO FUTURE SELECTION/DETAIL)
PT	PAINT FINISH
RD	ROLLER DOOR
RW	RENDERED WALL/ SELECTED PAINT FINISH
SRW	SCORED RENDERED WALL

DEVELOPMENT APPLICATION

28 CORDEAUX STREET,
CAMPBELLTOWN

PROJECT No. 1530
CLIENT: PROPERTY LOGIC



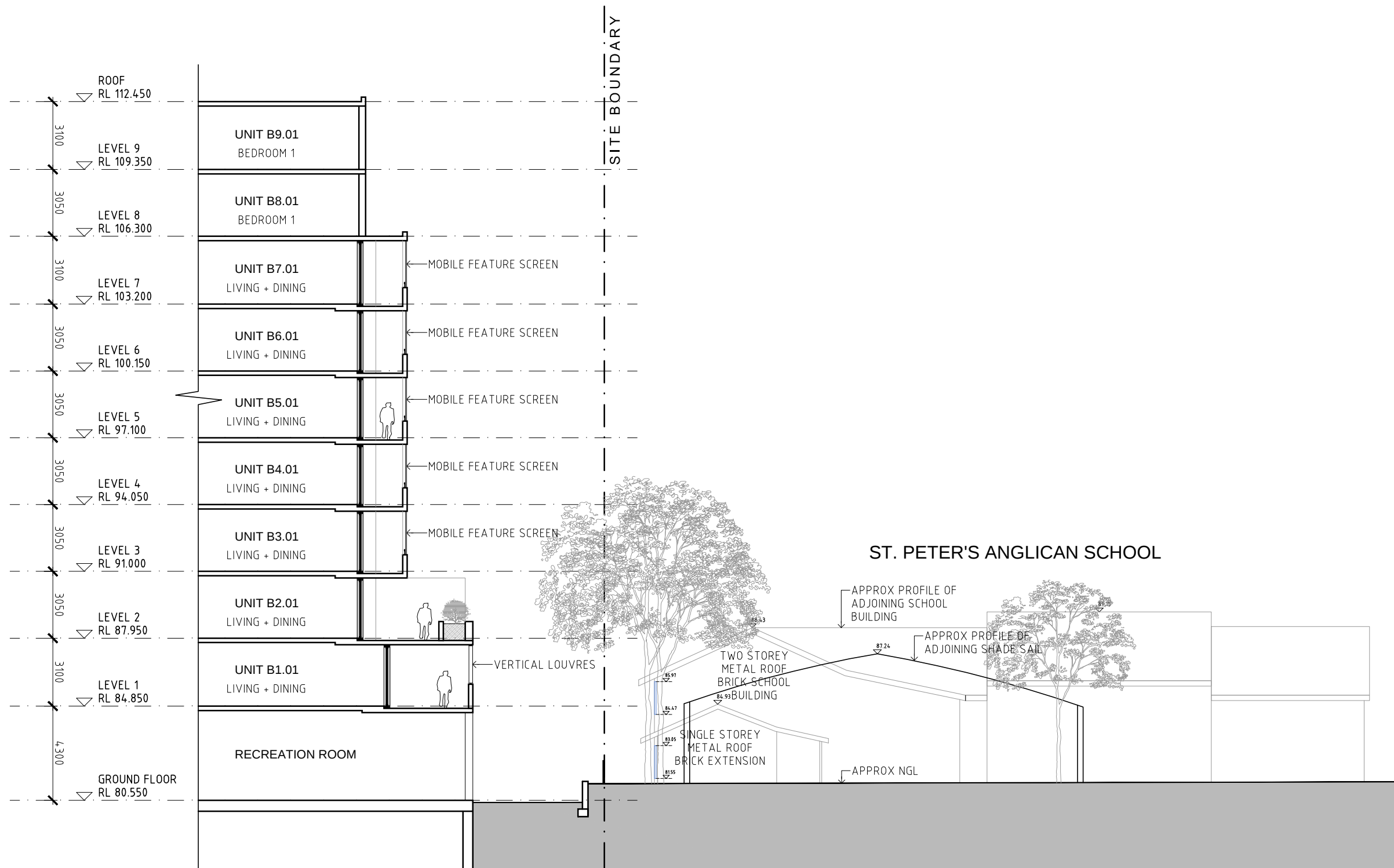
DATE	DESCRIPTION	REVISION
01.09.2016	ISSUE FOR DEVELOPMENT APPLICATION	A
26.05.2017	ISSUE FOR COUNCIL RESPONSE	B

DA 302
TYPICAL SECTION BB

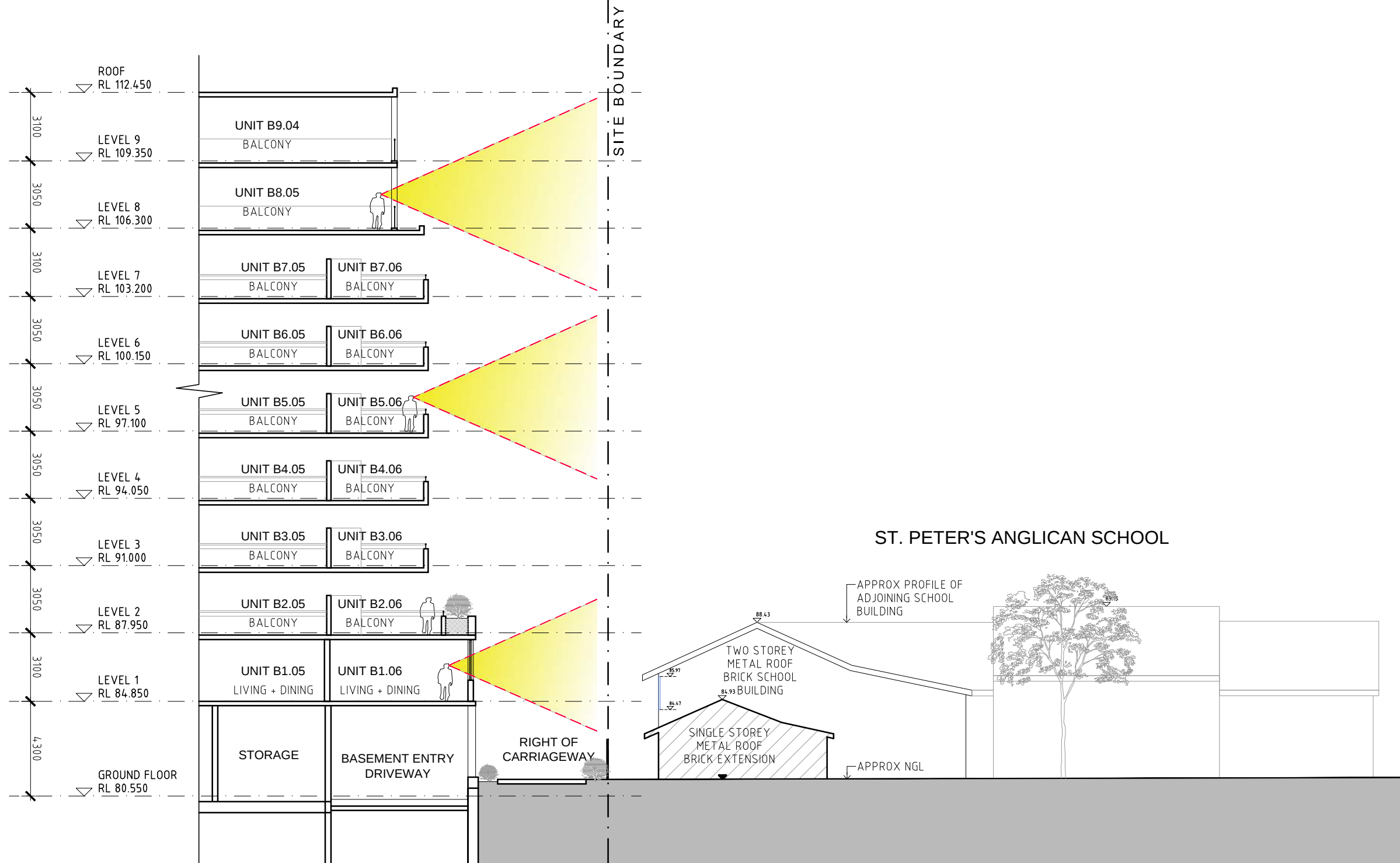
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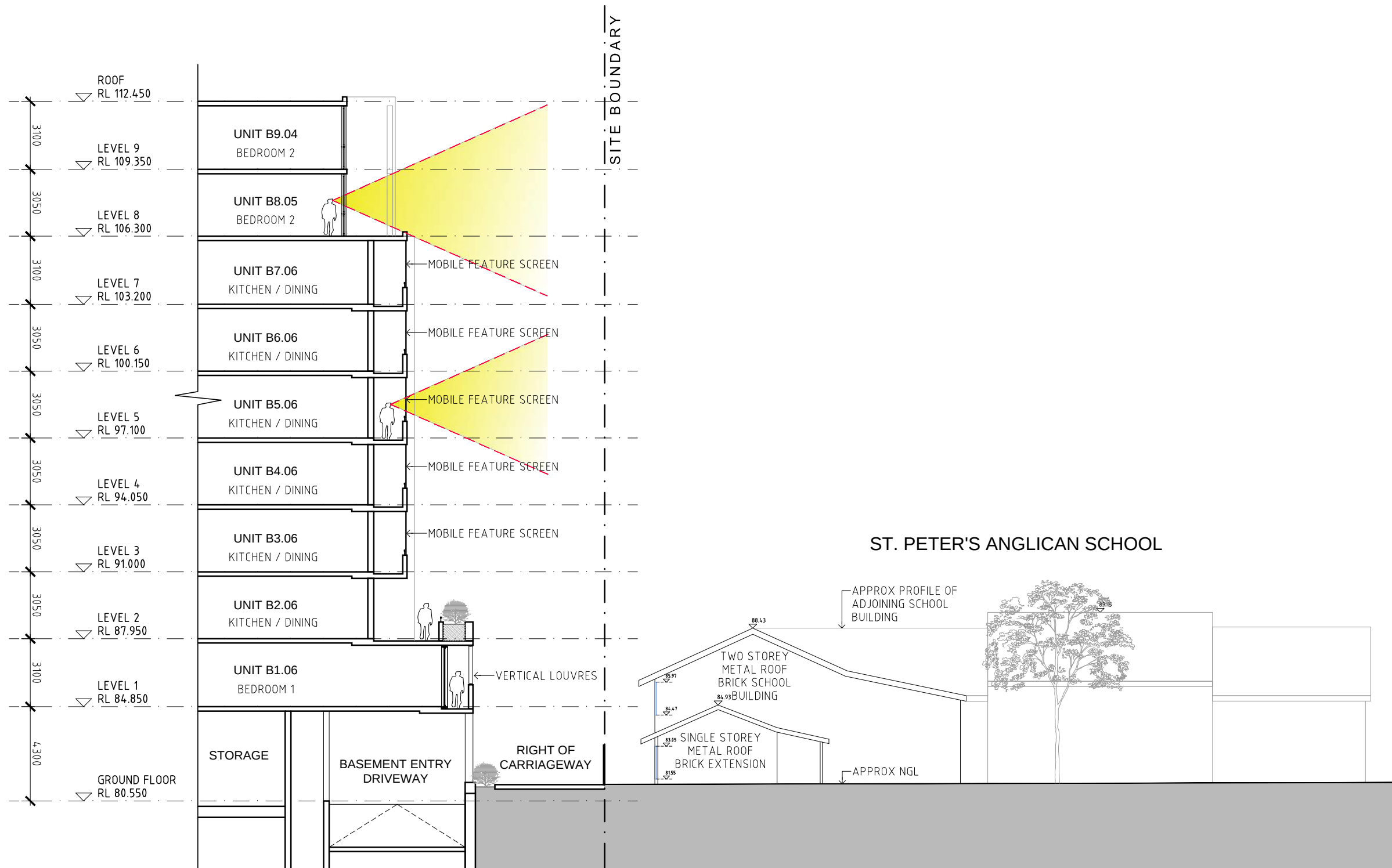
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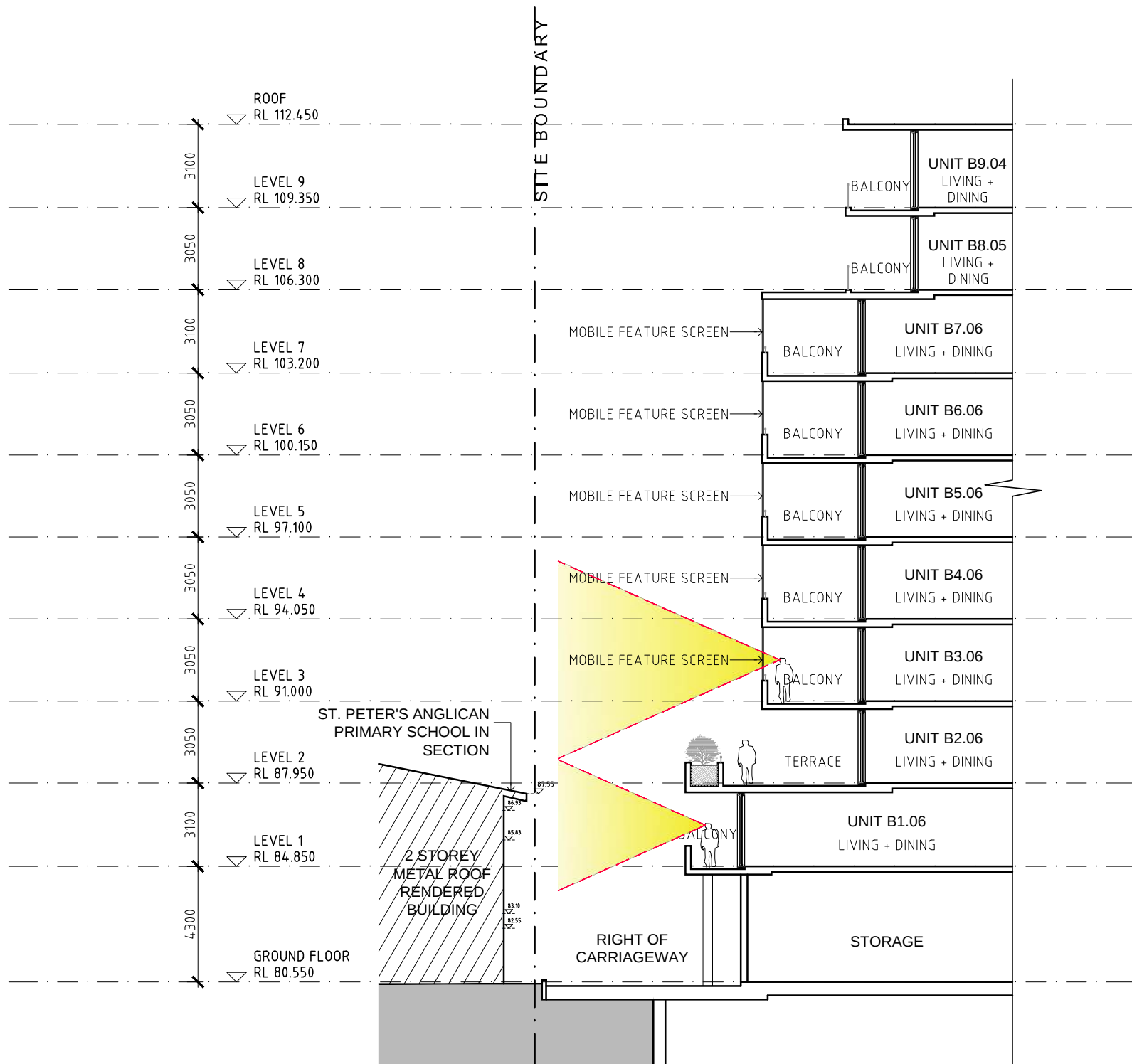
01 PART SECTION C-C
SCALE 1:200



03 PART SECTION E-E
SCALE 1:200



02 PART SECTION D-D
SCALE 1:200



04 PART SECTION F-F
SCALE 1:200

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PLAN LEGEND:

- AW AWNING (TO FUTURE DETAIL)
- B BOLLARD
- ELEC ELECTRICAL SERVICES (TO FUTURE ENG'S DETAILS)
- FE FIRE EXTINGUISHER
- FG FLOOR GRATE
- FH FIRE HYDRANT
- VL FIXED VERTICAL LOUVRES
- HS HIGHLIGHT WINDOW ABOVE WALL
- LS LANDSCAPING (REFER TO LANDSCAPE ARCHITECTS DRAWINGS)
- MA MAINTENANCE ACCESS
- MB MAIL BOX TO FUTURE DETAIL
- MS MOBILE SCREEN
- MV MECHANICAL RISER (TBC BY CONSULTANT- PRELIMINARY LOCATION ONLY)
- NGL NATURAL GROUND LEVEL
- PB PLANTER BOX (TO FUTURE DETAIL)
- PS PRIVACY SCREEN
- SB SAFETY BARRIER (TBC BY CONSULTANT- PRELIMINARY LOCATION ONLY)
- RP RIVER PEBBLES FOR LOCATIONS ON FLAT CONC. ROOF WITH INSULATION AS REQUIRED)
- SL SUN LOUVRE SYSTEM
- CWT CENTRALISED WATER TANK TO FUTURE DETAIL
- RWT RAINWATER TANK TO FUTURE DETAIL
- R RECYCLE BINS
- RT RETAINING WALL
- TD TILT DOOR

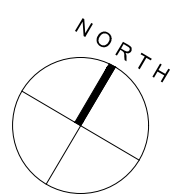
ELEVATIONS LEGEND:

- AW AWNING (TO FUTURE DETAIL)
- FB FACE BRICK
- GB FRAMELESS TOUGHENED GLASS BALUSTRADE (TO BCA/ AUSTRALIAN STANDARDS)
- HL HORIZONTAL LOUVRES
- MF METAL FENCE
- MS MOBILE FEATURE SCREEN
- OP OPAQUE GLAZING
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- PS METAL PRIVACY SCREEN (TO FUTURE SELECTION/DETAIL)
- PT PAINT FINISH
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- RW RENDERED WALL/ SELECTED PAINT FINISH
- SRW SCORED RENDERED WALL

DEVELOPMENT APPLICATION

28 CORDEAUX STREET,
CAMPBELLTOWN

PROJECT No. 1530
CLIENT: PROPERTY LOGIC



SCALE BAR
1:400 @ A3
1:200 @ A1

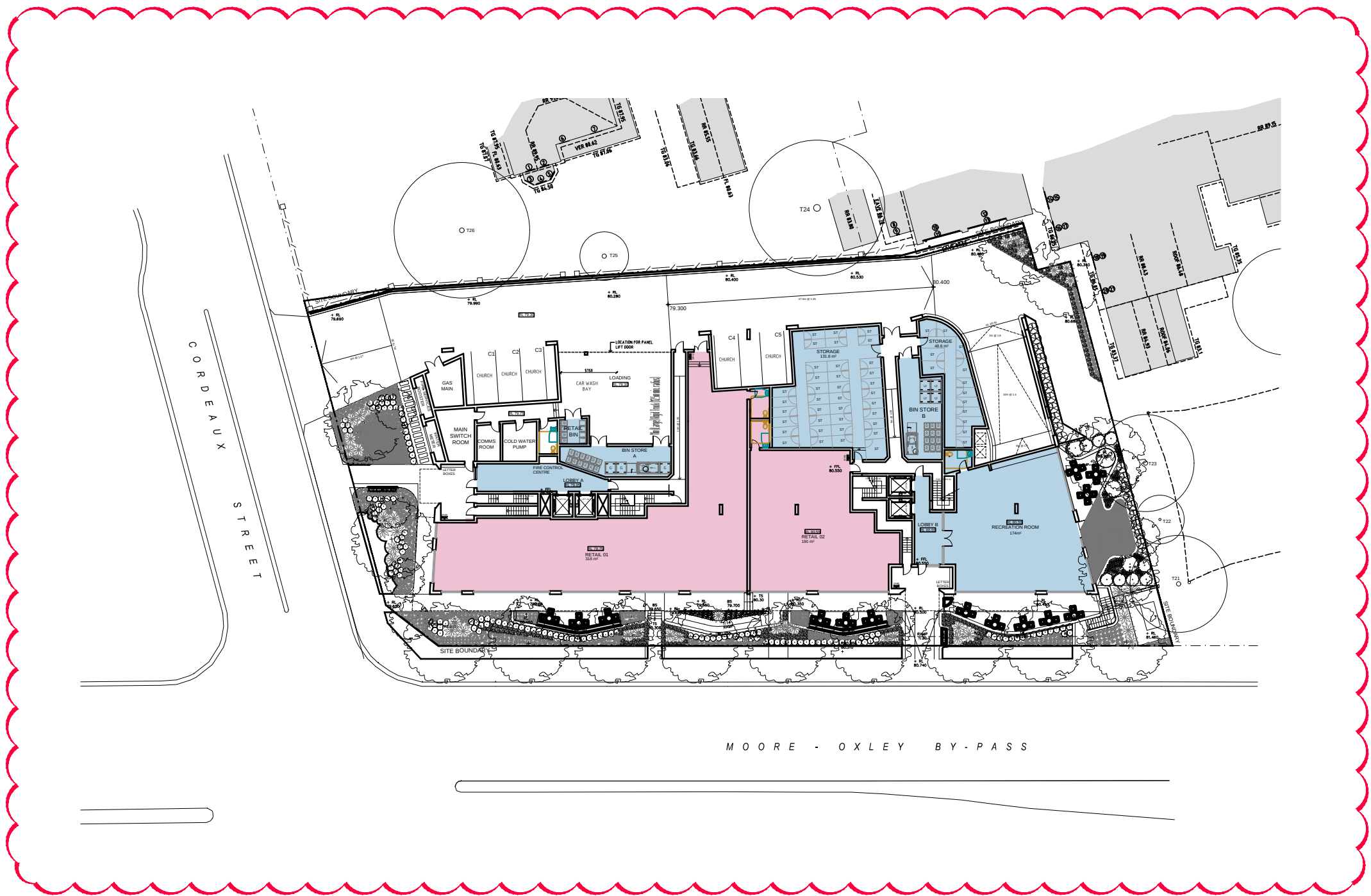
DATE	DESCRIPTION	REVISION
01.09.2016	ISSUE FOR DEVELOPMENT APPLICATION	A
26.05.2017	ISSUE FOR COUNCIL RESPONSE	B

DA 310
VIEW IMPACT ANALYSIS

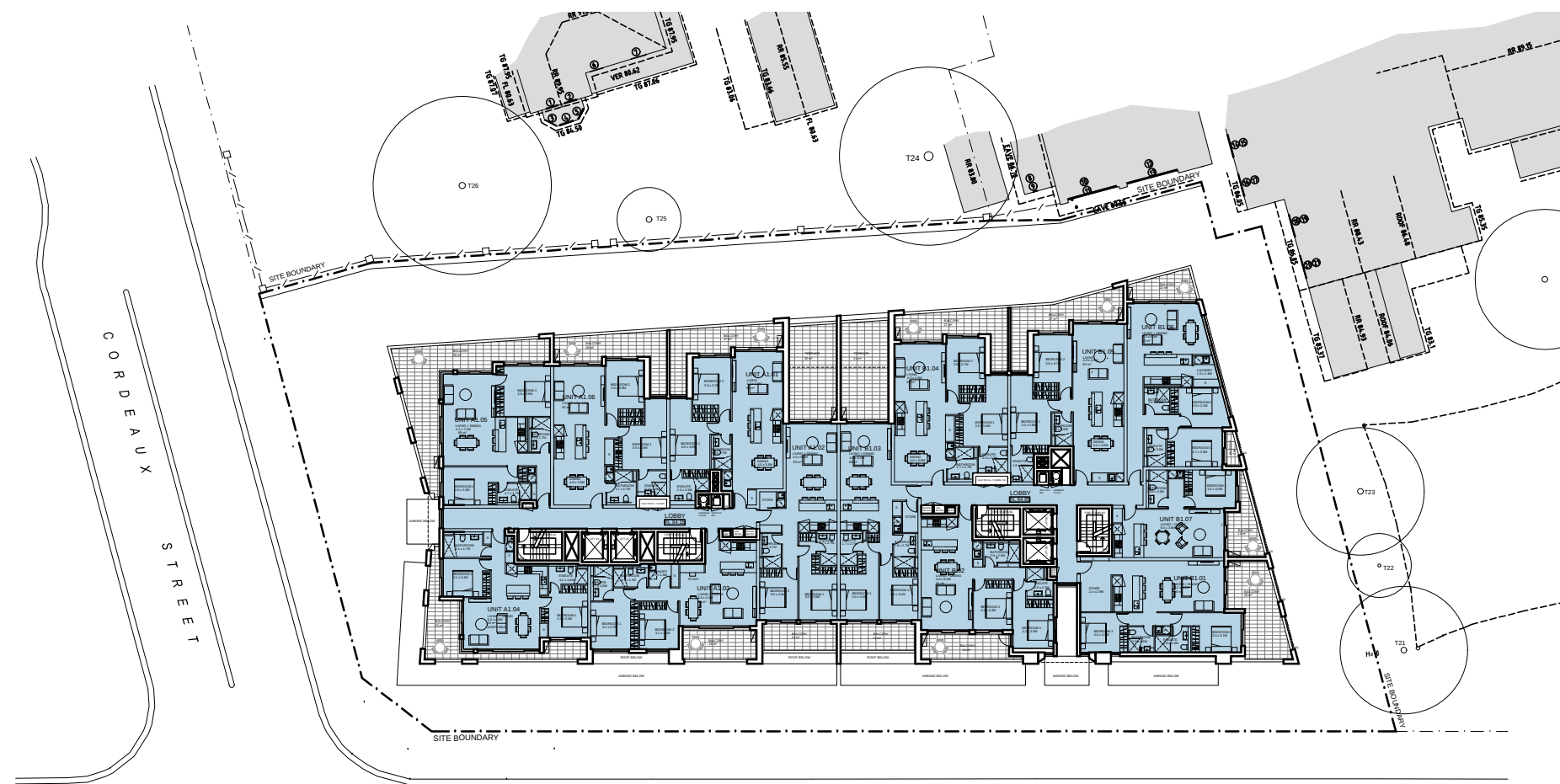
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01 GROUND FLOOR PLAN
NTS



02 LEVEL 1 PLAN
NTS



03 LEVEL 2 PLAN
NTS



04 LEVEL 3-7 PLAN
NTS

AREA SUMMARY	
SITE AREA	= 3100 m ²
ALLOWABLE FSR	= N/A
ALLOWABLE GFA	= N/A
PROPOSED GFA	= 10285 m ²
FSR	= 3.32 : 1
GROUND LEVEL	= 1038 m ²
LEVEL 1	= 1214 m ²
LEVEL 2	= 1065 m ²
LEVEL 3-7	= 5325 m ²
LEVEL 8	= 902 m ²
LEVEL 9	= 741 m ²

LEGEND	
	GFA AREA RESIDENTIAL
	GFA AREA RETAIL/COMMERCIAL

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B	BOLLARD
ELEC	ELECTRICAL SERVICES (TO FUTURE ENG'S DETAILS)
FE	FIRE EXTINGUISHER
FG	FLOOR GRATE
FH	FIRE HYDRANT
VL	FIXED VERTICAL LOUVRES
HS	HIGHLIGHT WINDOW ABOVE WALL
LS	LANDSCAPING (REFER TO LANDSCAPE ARCHITECTS DRAWINGS)
MA	MAINTENANCE ACCESS
MB	MAIL BOX TO FUTURE DETAIL
MS	MOBILE SCREEN
MV	MECHANICAL RISER (TBC BY CONSULTANT- PRELIMINARY LOCATION ONLY)
NGL	NATURAL GROUND LEVEL
PB	PLANTER BOX (TO FUTURE DETAIL)
PS	PRIVACY SCREEN
SB	SAFETY BARRIER (TBC BY CONSULTANT- PRELIMINARY LOCATION ONLY)
RP	RIVER PEBBLES (FOR LOCATIONS ON FLAT CONC. ROOF WITH INSULATION AS REQUIRED)
SL	SUN LOUVRE SYSTEM
CWT	CENTRALISED WATER TANK TO FUTURE DETAIL
RWT	RAINWATER TANK TO FUTURE DETAIL
R	RECYCLE BINS
RT	RETAINING WALL
TD	TILT DOOR

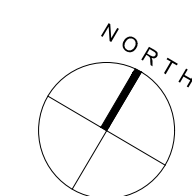
ELEVATIONS LEGEND:

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SRW	SCORED RENDERED WALL

DEVELOPMENT APPLICATION

28 CORDEAUX STREET, CAMPBELLTOWN

PROJECT No. 1530
CLIENT: PROPERTY LOGIC



SCALE BAR
1:400 @ A3
1:200 @ A1
0 4 10m

DATE	DESCRIPTION	REVISION
01.09.2016	ISSUE FOR DEVELOPMENT APPLICATION	A
26.05.2017	ISSUE FOR COUNCIL RESPONSE	B

DA 501
GROUND & LEVEL 1-7 FSR

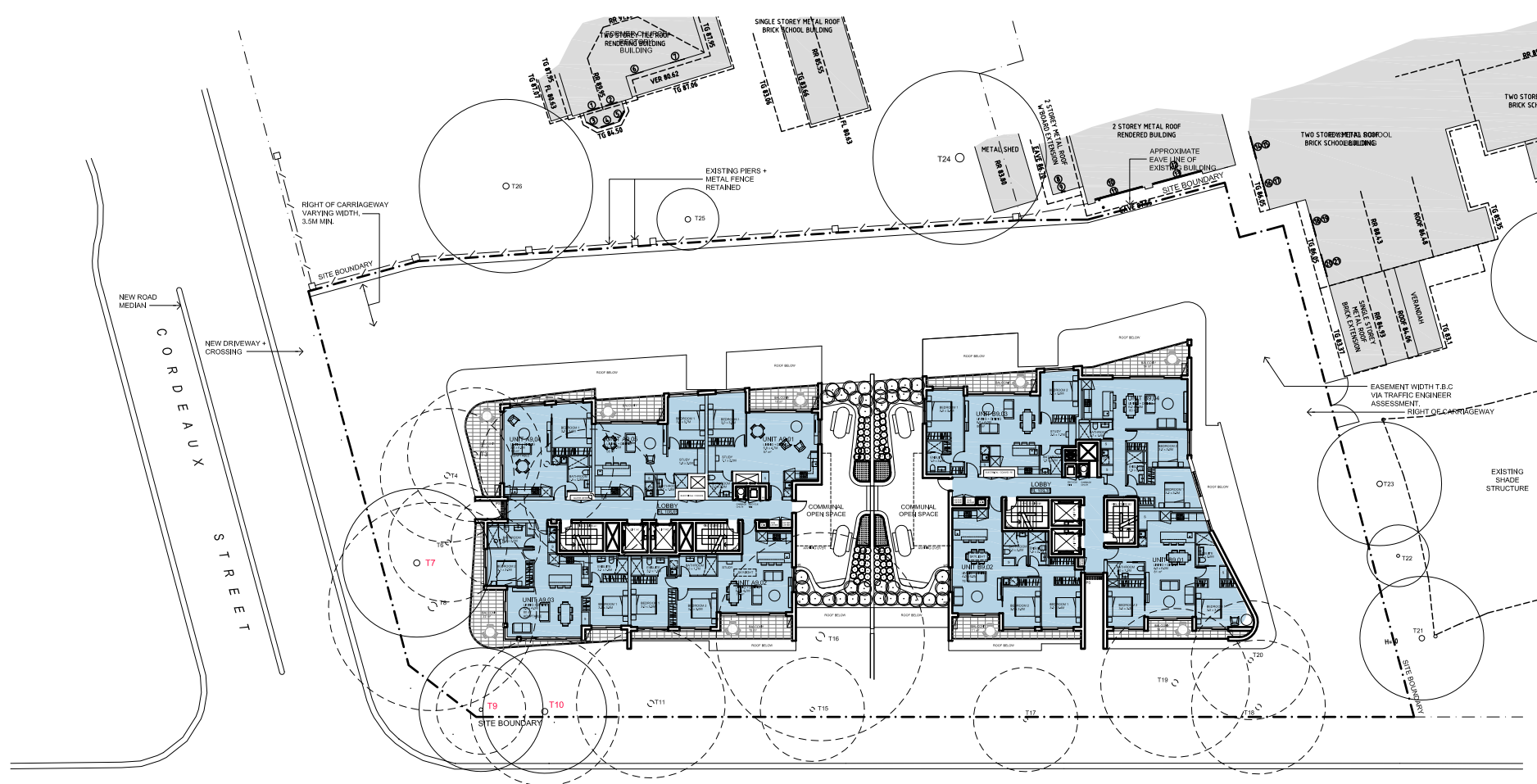
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01 LEVEL 8
- NTS



02 LEVEL 9
- NTS

AREA SUMMARY	
SITE AREA	= 3100 m ²
ALLOWABLE FSR	= N/A
ALLOWABLE GFA	= N/A
PROPOSED GFA	= 10285 m ²
FSR	= 3.32 : 1

GROUND LEVEL	= 1038 m ²
LEVEL 1	= 1214 m ²
LEVEL 2	= 1065 m ²
LEVEL 3-7	= 5325 m ²
LEVEL 8	= 902 m ²
LEVEL 9	= 741 m ²

LEGEND

	GFA AREA RESIDENTIAL
	GFA AREA RETAIL/COMMERCIAL

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MV	MECHANICAL RISER (TBC BY CONSULTANT- PRELIMINARY LOCATION ONLY)
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R	RECYCLE BINS
RT	RETAINING WALL
TD	TLT DOOR

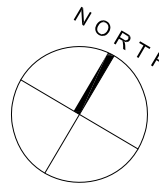
ELEVATIONS LEGEND:

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DEVELOPMENT APPLICATION

28 CORDEAUX STREET,
CAMPBELLTOWN

PROJECT No. 1530
CLIENT: PROPERTY LOGIC



SCALE BAR
1:400 @ A3
1:200 @ A1
0 4 10m

DATE	DESCRIPTION	REVISION
01.08.2016	ISSUE FOR DEVELOPMENT APPLICATION	A

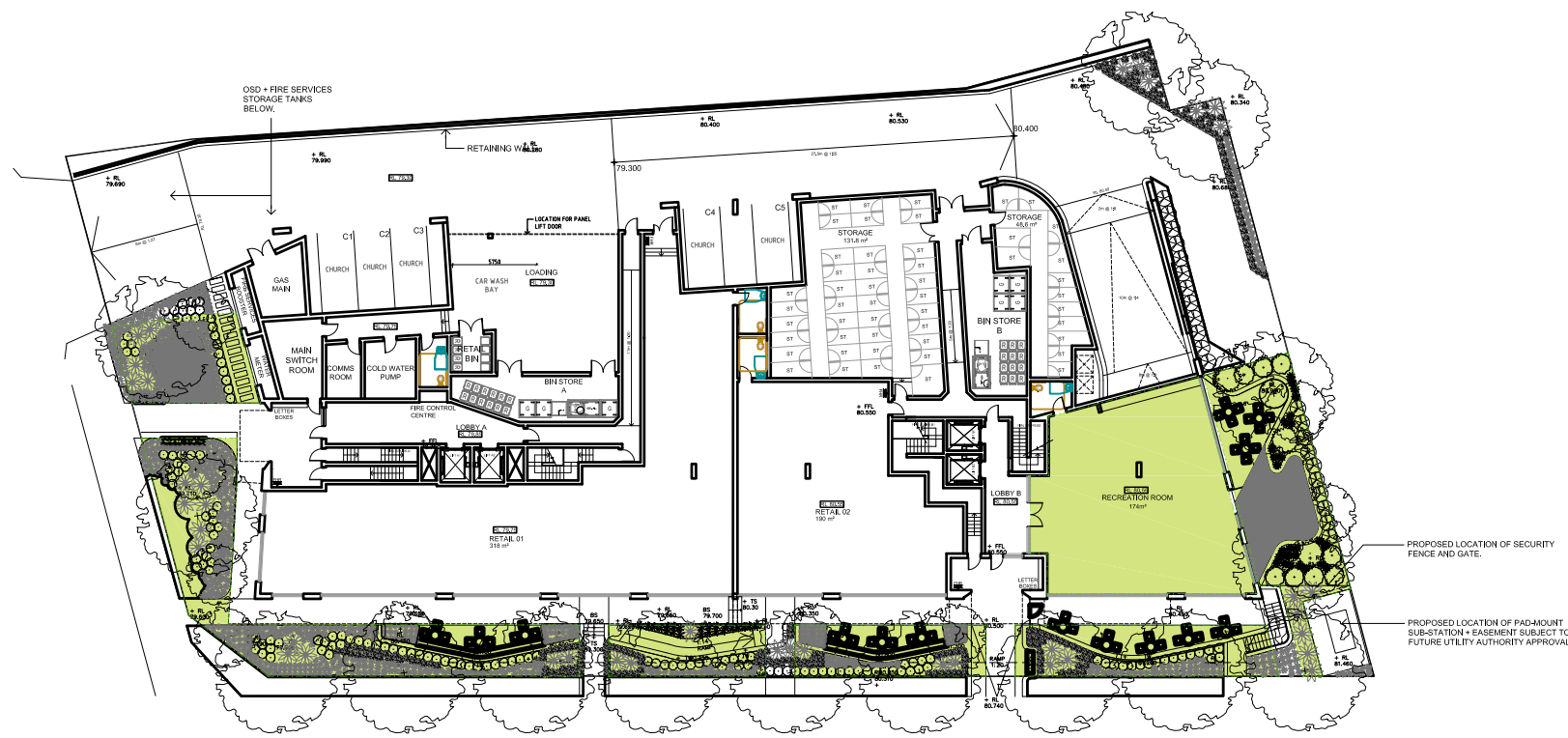
DA 502
LEVEL 8 & 9 FSR

PBD | ARCHITECTS

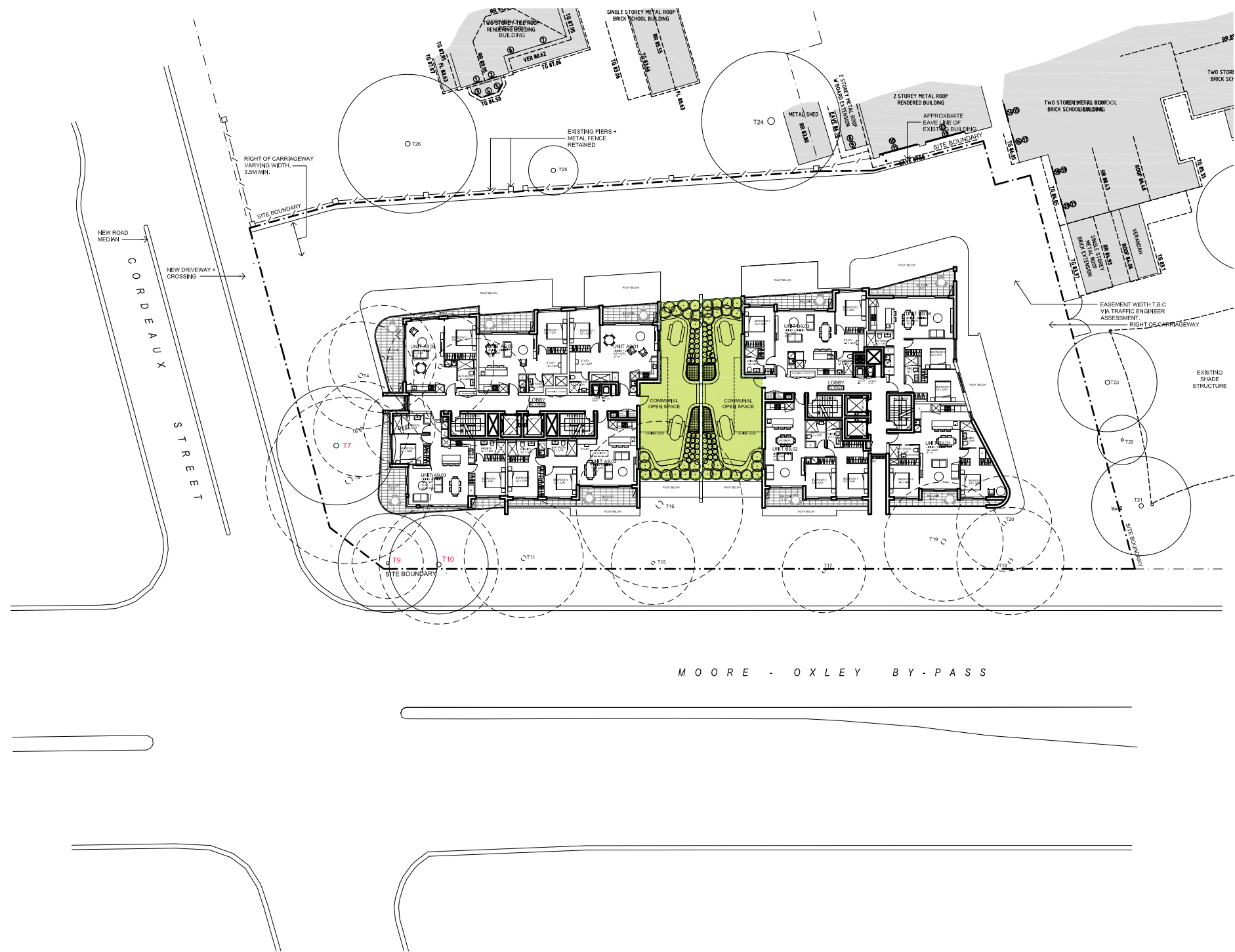
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01 - GROUND FLOOR PLAN
- NTS



02 - LEVEL 9
- NTS



GENERAL NOTES:

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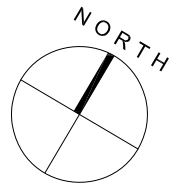
- AW AWNING (TO FUTURE DETAIL)
B. BOLLARD
ELEC ELECTRICAL SERVICES (TO FUTURE ENG'S DETAILS)
FE FIRE EXTINGUISHER
FG FLOOR GRATE
FH FIRE HYDRANT
VL FIXED VERTICAL LOUVRES
HS HIGHLIGHT WINDOW ABOVE WALL
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TD TILT DOOR

ELEVATIONS LEGEND:

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SRW SCORED RENDERED WALL

DEVELOPMENT APPLICATION

28 CORDEAUX STREET,
CAMPBELLTOWN
PROJECT No. 1530
CLIENT: PROPERTY LOGIC



SCALE BAR
1:400 @ A3
1:200 @ A1
0 4 10m

DATE	DESCRIPTION	REVISION
01.08.2016	ISSUE FOR DEVELOPMENT APPLICATION	A

DA 503

COMMUNAL OPEN SPACE GROUND & L9

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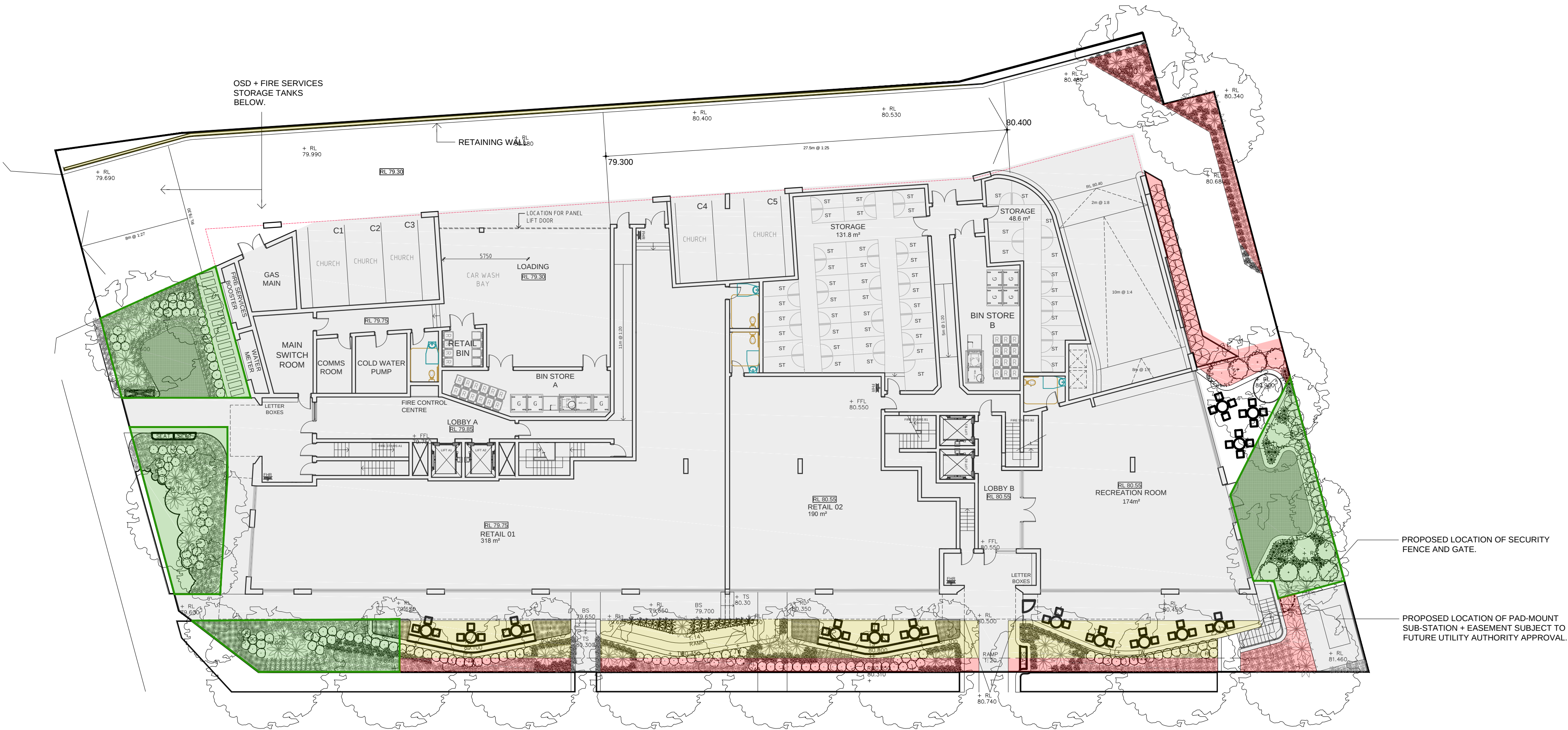
ADG (3D): COMMUNAL OPEN SPACE

- COMMUNAL OPEN SPACE HAS A MINIMUM AREA EQUAL TO 25% OF THE SITE

SITE AREA = 3100m2
REQUIRED COMMUNAL OPEN SPACE = 775m2

COMMUNAL OPEN SPACE = 781m2

% COMMUNAL OPEN SPACE = 25%



01 GROUND FLOOR PLAN
- NTS

LEGEND

- DEEP SOIL AREA
- OTHER DEEP SOIL AREA
- BUILT UPON AREA
- OTHER LANDSCAPED AREAS

DEEP SOIL CALCULATIONS

TOTAL SITE AREA = 3100 m²
DEEP SOIL AREA = 225.8 m²
TOTAL DEEP SOIL AREA = 7.28%

- GENERAL NOTES:**
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- PLAN LEGEND:**
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 - B BOLLARD
 - ELEC ELECTRICAL SERVICES (TO FUTURE ENG'S DETAILS)
 - FE FIRE EXTINGUISHER
 - FG FLOOR GRATE
 - FH FIRE HYDRANT
 - VL FIXED VERTICAL LOUVRES
 - HS HIGHLIGHT WINDOW ABOVE WALL
 - LS LANDSCAPING (REFER TO LANDSCAPE ARCHITECTS DRAWINGS)
 - MA MAINTENANCE ACCESS
 - MB MAIL BOX TO FUTURE DETAIL
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DEVELOPMENT APPLICATION

28 CORDEAUX STREET,
CAMPBELLTOWN

PROJECT No. 1530
CLIENT: PROPERTY LOGIC

LEGEND

- DEEP SOIL AREA
- OTHER DEEP SOIL AREA
- BUILT UPON AREA
- OTHER LANDSCAPED AREAS

DEEP SOIL CALCULATIONS

TOTAL SITE AREA = 3100 m²
DEEP SOIL AREA = 225.8 m²
TOTAL DEEP SOIL AREA = 7.28%

LEGEND

- DEEP SOIL AREA
- OTHER DEEP SOIL AREA
- BUILT UPON AREA
- OTHER LANDSCAPED AREAS

DEEP SOIL CALCULATIONS

TOTAL SITE AREA = 3100 m²
DEEP SOIL AREA = 225.8 m²
TOTAL DEEP SOIL AREA = 7.28%

DA 504
DEEP SOIL GROUND FLOOR PLAN



% APARTMENT WITH NATURAL CROSS VENTILATION = 60%

AW	AWNING (TO FUTURE DETAIL)
FB	FACE BRICK
GB	FRAMELESS TOUGHENED GLASS BALUSTRADE (TO BCA AUSTRALIAN STANDARDS)
HL	HORIZONTAL LOUVRES
MF	METAL FENCE
MS	MOBILE FEATURE SCREEN
OP	OPAQUE GLAZING
PC	PANEL CLADDING
PS	METAL FINISH SCREEN (TO FUTURE SELECTION/DETAIL)
PT	PAINT FINISH
RD	ROLLER DOOR
RW	RENDERED WALL/ SELECTED PAINT FINISH
SRW	SCORED RENDERED WALL

DATE	DESCRIPTION	REVISION
01.09.2016	ISSUE FOR DEVELOPMENT APPLICATION	A

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GENERAL NOTES:

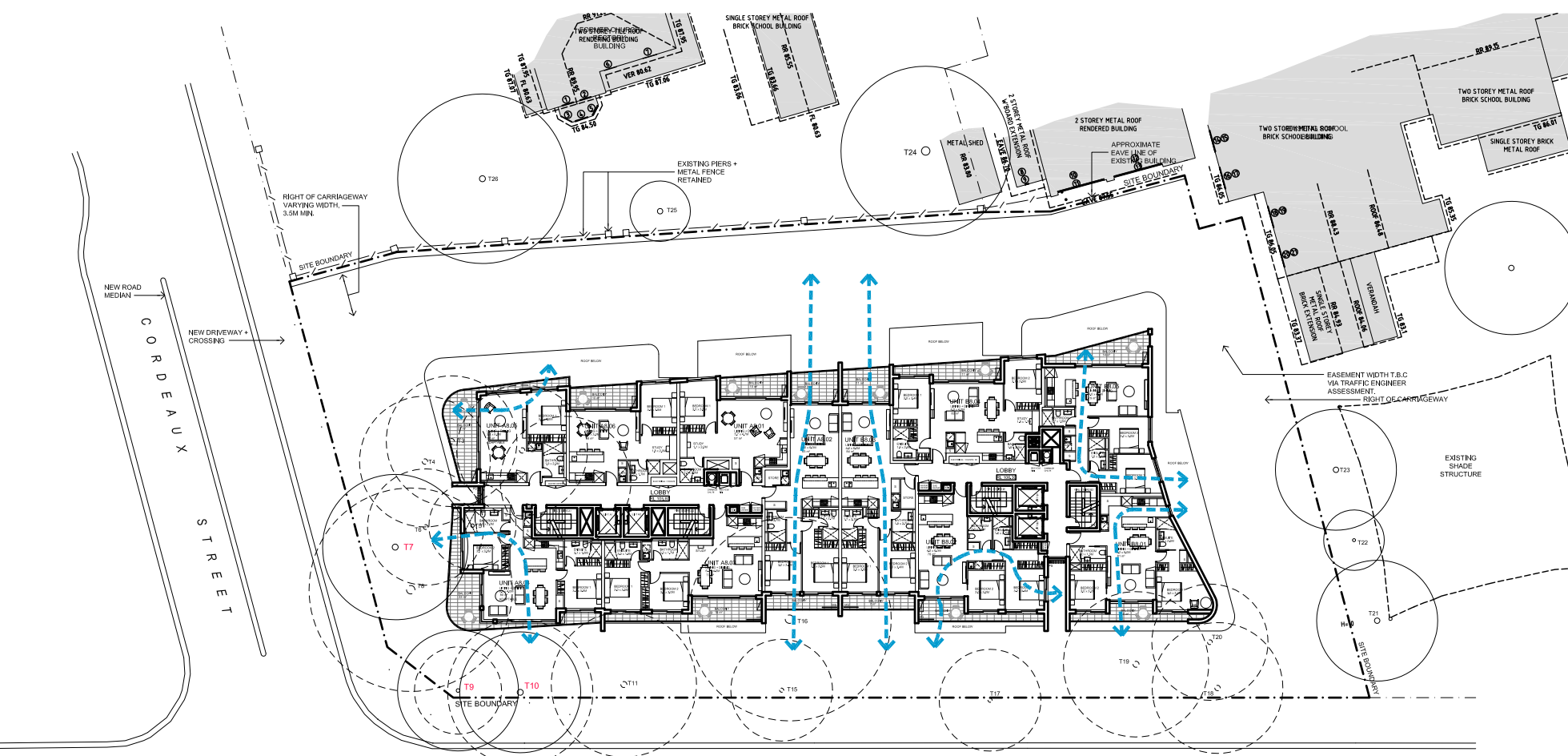
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PLAN LEGEND:

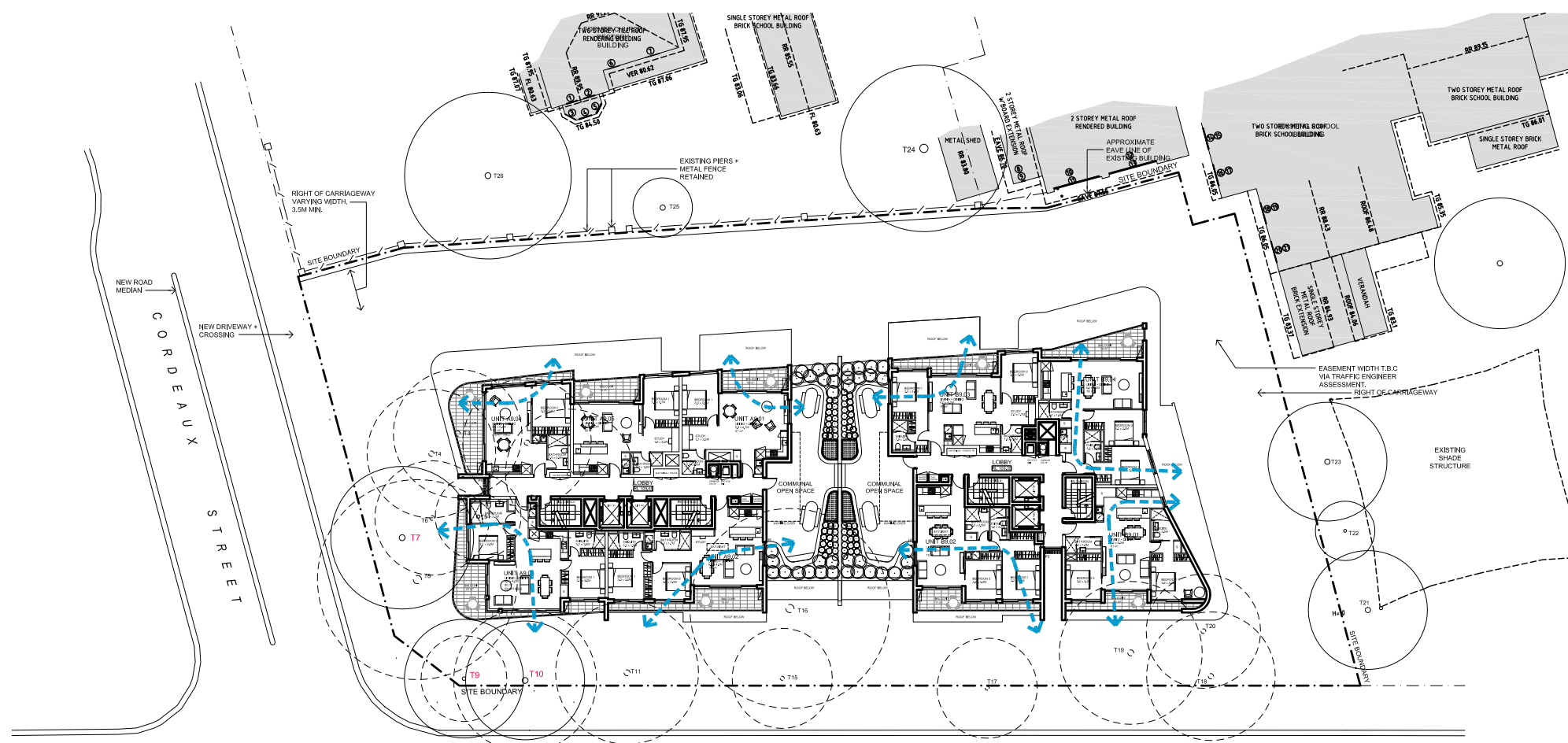
- AW AWNING (TO FUTURE DETAIL)
B. BOLLARD
ELEC ELECTRICAL SERVICES (TO FUTURE ENG'S DETAILS)
FE FIRE EXTINGUISHER
FG FLOOR GRATE
FH FIRE HYDRANT
VL FIXED VERTICAL LOUVRES
HS HIGHLIGHT WINDOW ABOVE WALL
LS LANDSCAPING (REFER TO LANDSCAPE ARCHITECTS DRAWINGS)
MA MAINTENANCE ACCESS
MB MAIL BOX TO FUTURE DETAIL
MS MOBILE SCREEN
MV MECHANICAL RISER (TBC BY CONSULTANT- PRELIMINARY LOCATION ONLY)
NGL NATURAL GROUND LEVEL
PB PLANTER BOX (TO FUTURE DETAIL)
PS PRIVACY SCREEN
SB SAFETY BARRIER (TBC BY CONSULTANT- PRELIMINARY LOCATION ONLY)
RP RIVER PEBBLES (FOR LOCATIONS ON FLAT CONC. ROOF WITH INSULATION AS REQUIRED)
SL SUN LOUVRE SYSTEM
CWT CENTRALISED WATER TANK TO FUTURE DETAIL
RWT RAINWATER TANK TO FUTURE DETAIL
R RECYCLE BINS
RT RETAINING WALL
TD TILT DOOR

ELEVATIONS LEGEND:

- AW AWNING (TO FUTURE DETAIL)
FB FACE BRICK
GB FRAMELESS TOUGHENED GLASS BALUSTRADE (TO BCA/ AUSTRALIAN STANDARDS)
HL HORIZONTAL LOUVRES
MF METAL FENCE
MS MOBILE FEATURE SCREEN
OP OPAQUE GLAZING
PC PANEL CLADDING
PS METAL PRIVACY SCREEN (TO FUTURE SELECTION/DETAIL)
PT PAINT FINISH
RD ROLLER DOOR
RW RENDERED WALL/ SELECTED PAINT FINISH
SRW SCORED RENDERED WALL



01 LEVEL 8
NTS

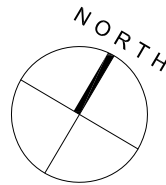


02 LEVEL 9
NTS

DEVELOPMENT APPLICATION

28 CORDEAUX STREET,
CAMPBELLTOWN

PROJECT No. 1530
CLIENT: PROPERTY LOGIC



SCALE BAR
1:400 @ A3
1:200 @ A1
0 4 10m

DATE	DESCRIPTION	REVISION
01.08.2016	ISSUE FOR DEVELOPMENT APPLICATION	A

DA 506
LEVEL 8& 9 NATURAL VENT

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Level 2, 52 Albion Street, Surry Hills NSW 2010

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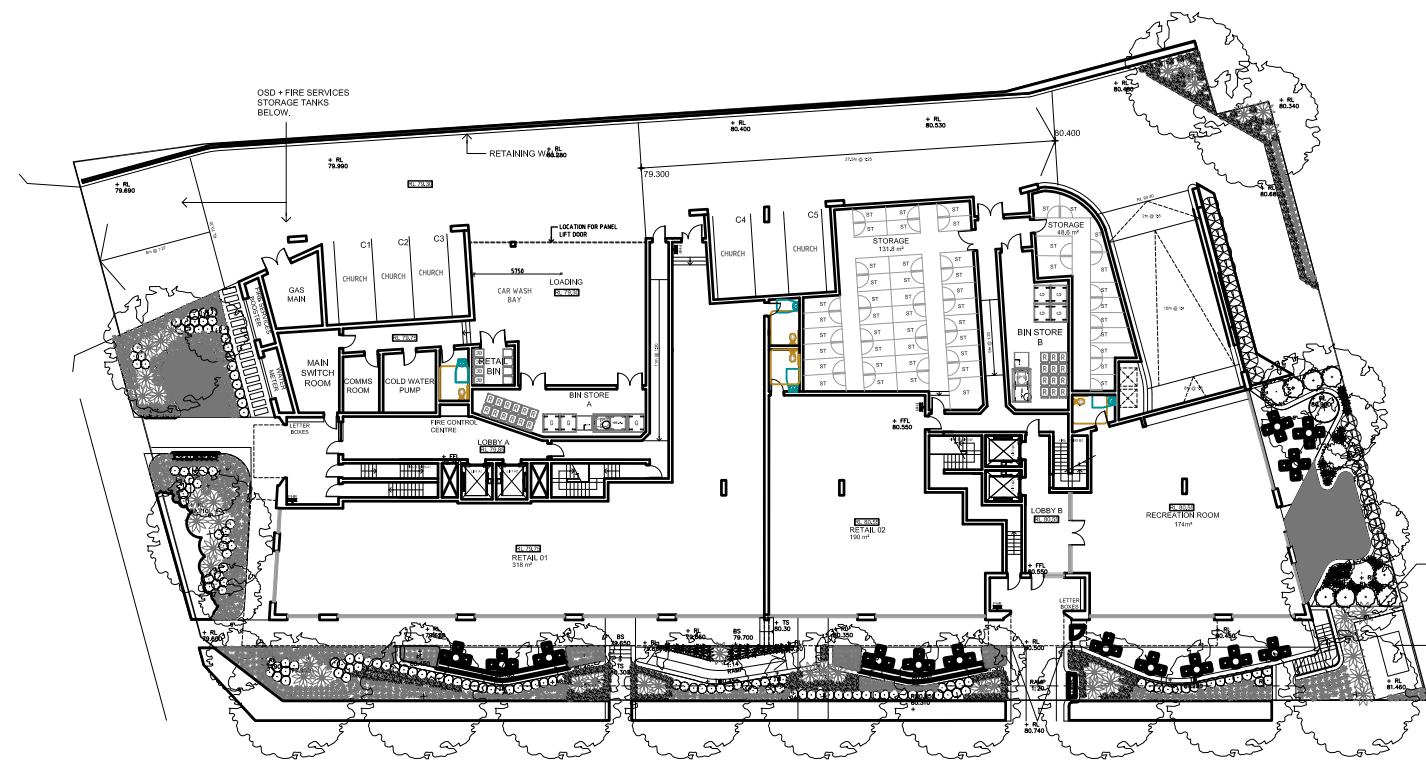
ADG (4B): NATURAL VENTILATION

- ALL HABITABLE ROOMS ARE NATURALLY VENTILATED
- AT LEAST 60% OF APARTMENTS ARE NATURALLY CROSS VENTILATED IN THE FIRST NINE STOREYS OF THE BUILDING.
- APARTMENTS AT TEN STOREYS OR GREATER ARE DEEMED TO BE CROSS VENTILATED ONLY IF ANY ENCLOSURE OF THE BALCONIES AT THESE LEVELS ALLOWS ADEQUATE NATURAL VENTILATION AND CANNOT BE FULLY ENCLOSED
- OVERALL DEPTH OF A CROSS-OVER APARTMENT DOES NOT EXCEED 18m

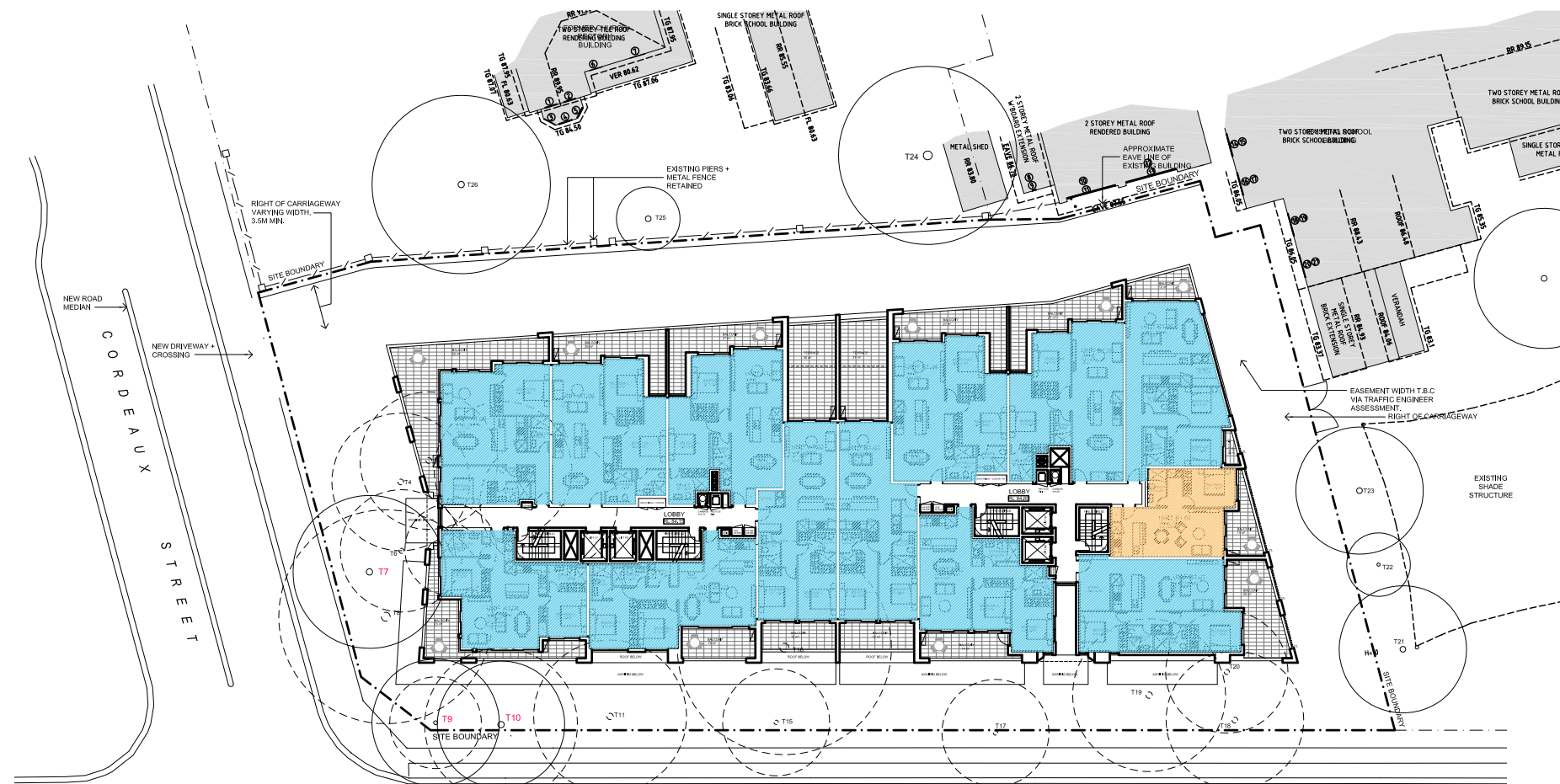
TOTAL NUMBER OF APARTMENTS (level 1 - 9): 105 UNITS

NATURALLY VENTILATED APARTMENTS : 64 UNITS

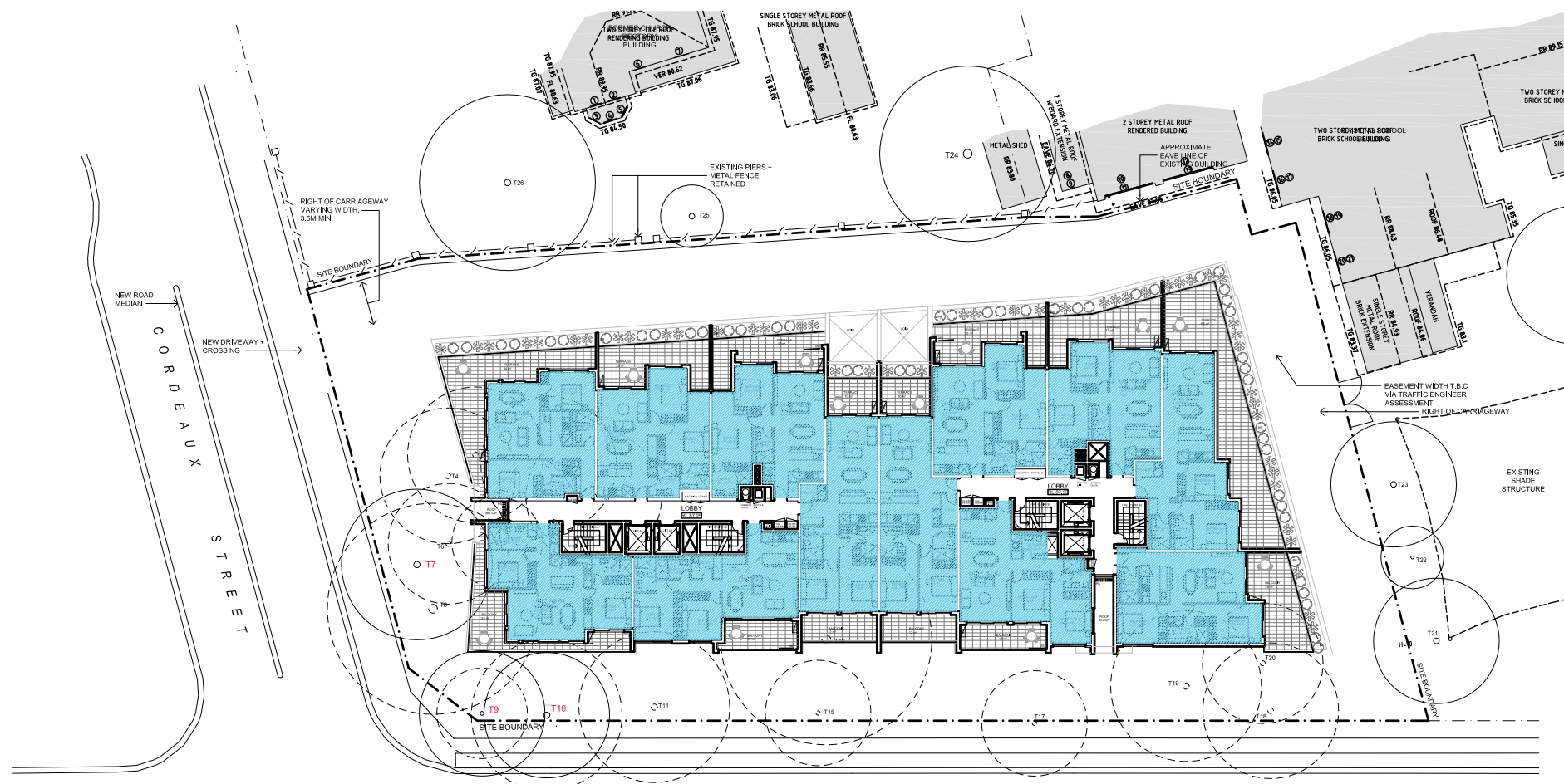
% APARTMENT WITH NATURAL CROSS VENTILATION = 60%



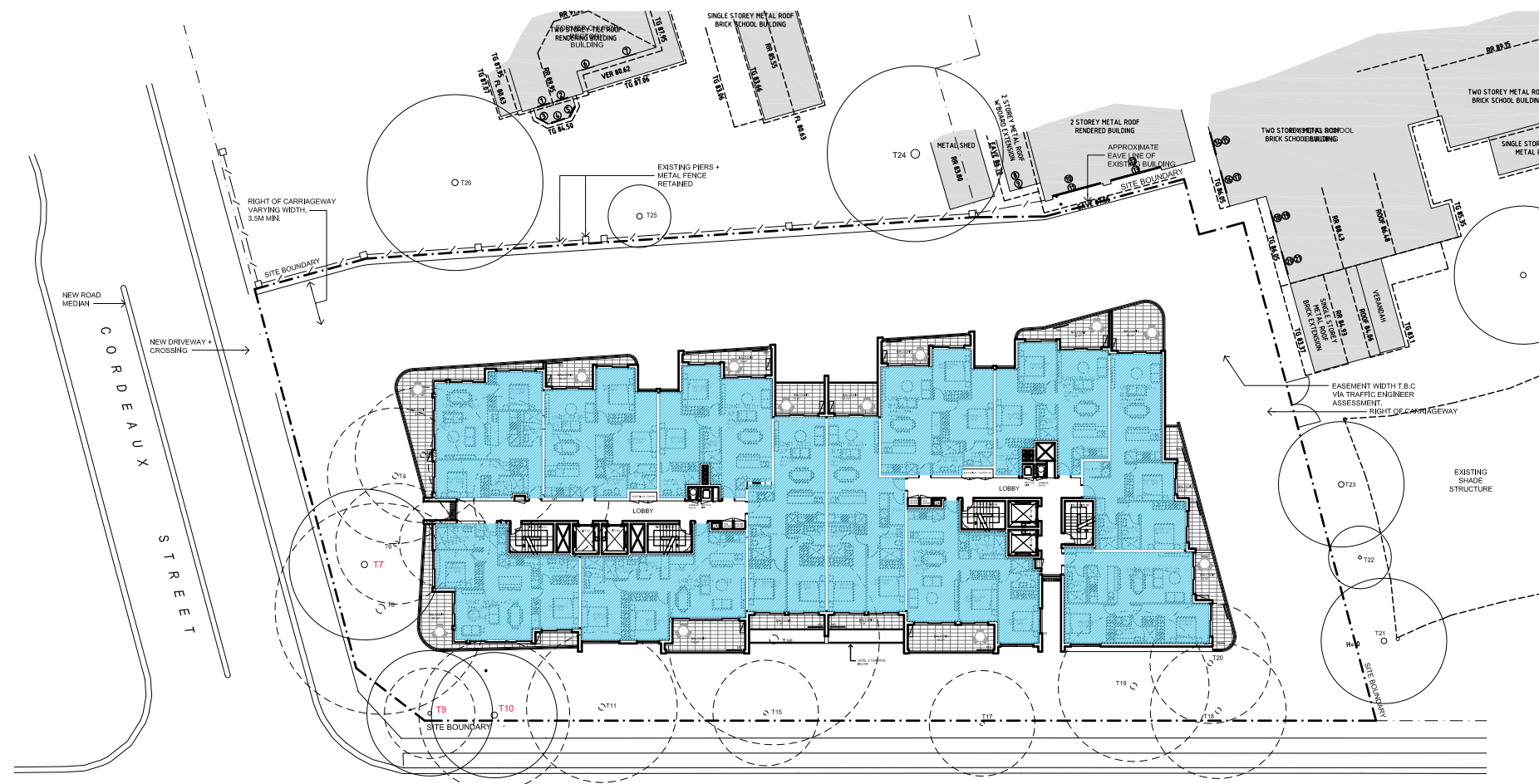
01 GROUND FLOOR PLAN
NTS



02 LEVEL 1 PLAN
NTS



03 LEVEL 2 PLAN
NTS



04 LEVEL 3-7 PLAN
NTS

LEVEL	1 BED	2 BED	TOTAL
L1	1	12	105
L2	0	12	
L3-7	0	60	
L8	3	8	
L9	3	6	
TOTAL	7	98	
PERCENTAGE %	7%	93%	

GENERAL NOTES:

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PLAN LEGEND:

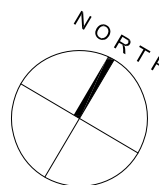
AW	AWNING (TO FUTURE DETAIL)
B.	BOLLARD
ELEC	ELECTRICAL SERVICES (TO FUTURE ENG'S DETAILS)
FE	FIRE EXTINGUISHER
FG	FLOOR GRATE
FH	FIRE HYDRANT
VL	FIXED VERTICAL LOUVRES
HS	HIGHLIGHT WINDOW ABOVE WALL
LS	LANDSCAPING (REFER TO LANDSCAPE ARCHITECTS DRAWINGS)
MA	MAINTENANCE ACCESS
MB	MAIL BOX TO FUTURE DETAIL
MS	MOBILE SCREEN
MV	MECHANICAL RISER (TBC BY CONSULTANT- PRELIMINARY LOCATION ONLY)
NGL	NATURAL GROUND LEVEL
PB	PLANTER BOX (TO FUTURE DETAIL)
PS	PRIVACY SCREEN
SB	SAFETY BARRIER (TBC BY CONSULTANT- PRELIMINARY LOCATION ONLY)
RP	RIVER PEBBLES (FOR LOCATIONS ON FLAT CONC. ROOF WITH INSULATION AS REQUIRED)
SL	SUN LOUVRE SYSTEM
CWT	CENTRALISED WATER TANK TO FUTURE DETAIL
RWT	RAINWATER TANK TO FUTURE DETAIL
R	RECYCLE BINS
RT	RETAINING WALL
TD	TLT DOOR

ELEVATIONS LEGEND:

AW	AWNING (TO FUTURE DETAIL)
FB	FACE BRICK
GB	FRAMELESS TOUGHENED GLASS BALUSTRADE (TO BCA/ AUSTRALIAN STANDARDS)
HL	HORIZONTAL LOUVRES
MF	METAL FENCE
MS	MOBILE FEATURE SCREEN
OP	OPAQUE GLAZING
PC	PANEL CLADDING
PS	METAL PRIVACY SCREEN (TO FUTURE SELECTION/DETAIL)
PT	PAINT FINISH
RD	ROLLER DOOR
RW	RENDERED WALL/ SELECTED PAINT FINISH
SRW	SCORED RENDERED WALL

DEVELOPMENT APPLICATION

28 CORDEAUX STREET,
CAMPBELLTOWN
PROJECT No. 1530
CLIENT: PROPERTY LOGIC



SCALE BAR
1:400 @ A3
1:200 @ A1
0 4 10m

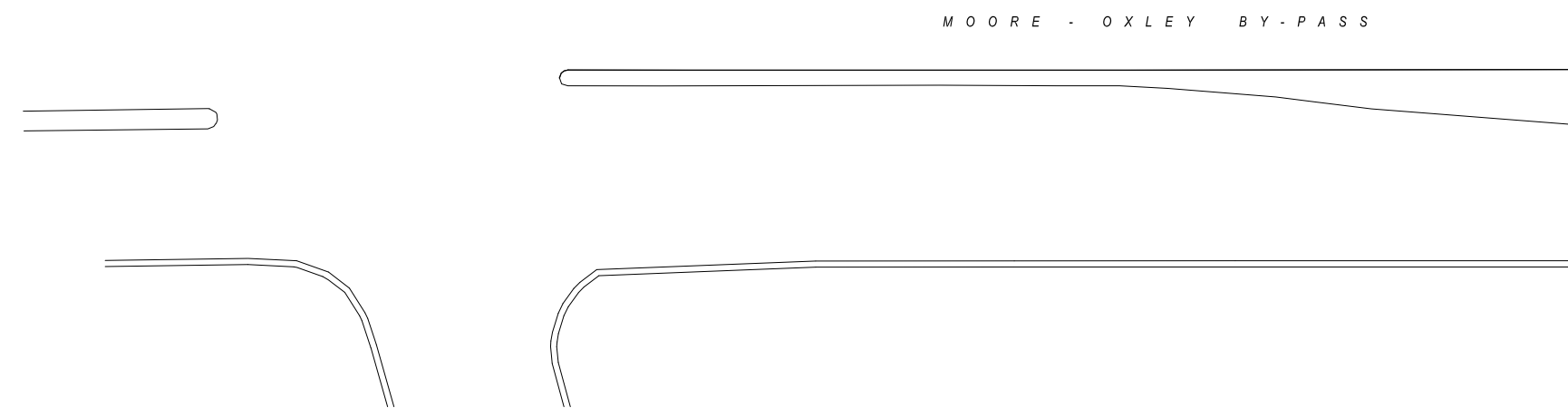
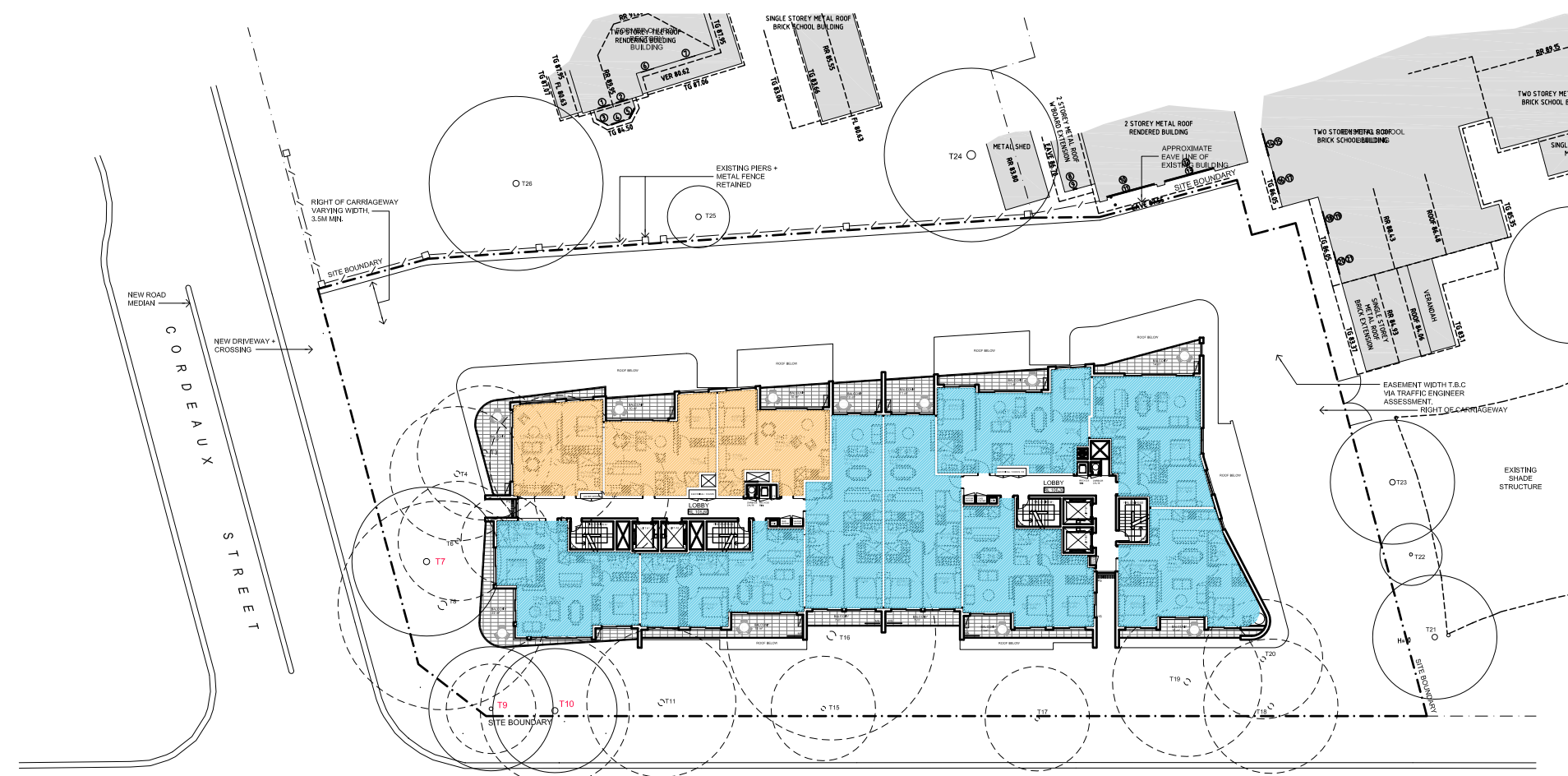
DATE	DESCRIPTION	REVISION
01.08.2016	ISSUE FOR DEVELOPMENT APPLICATION	A

DA 507
GROUND & L1-7 APARTMENT MIX

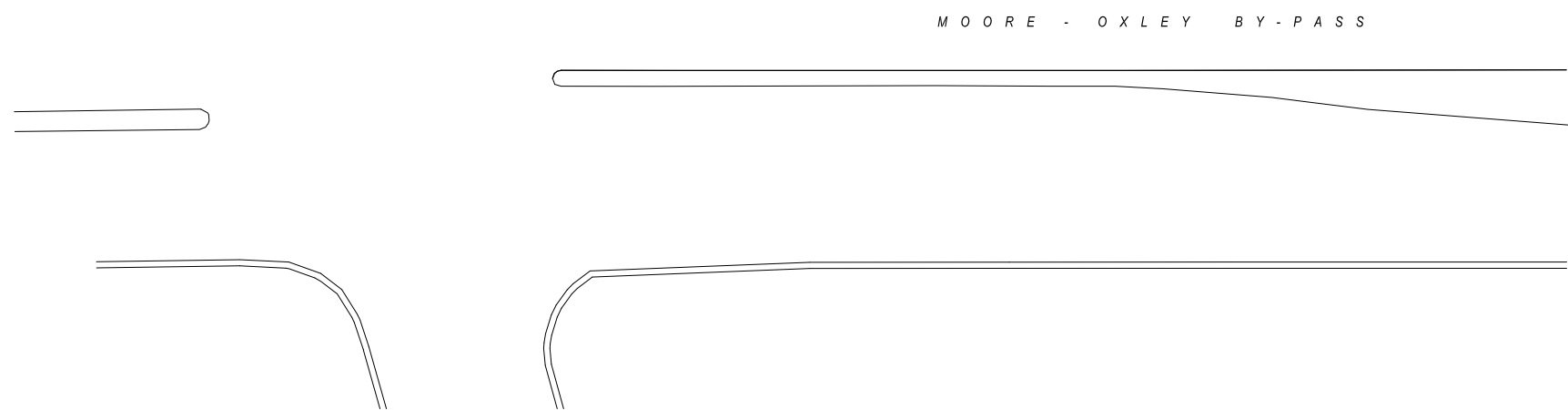
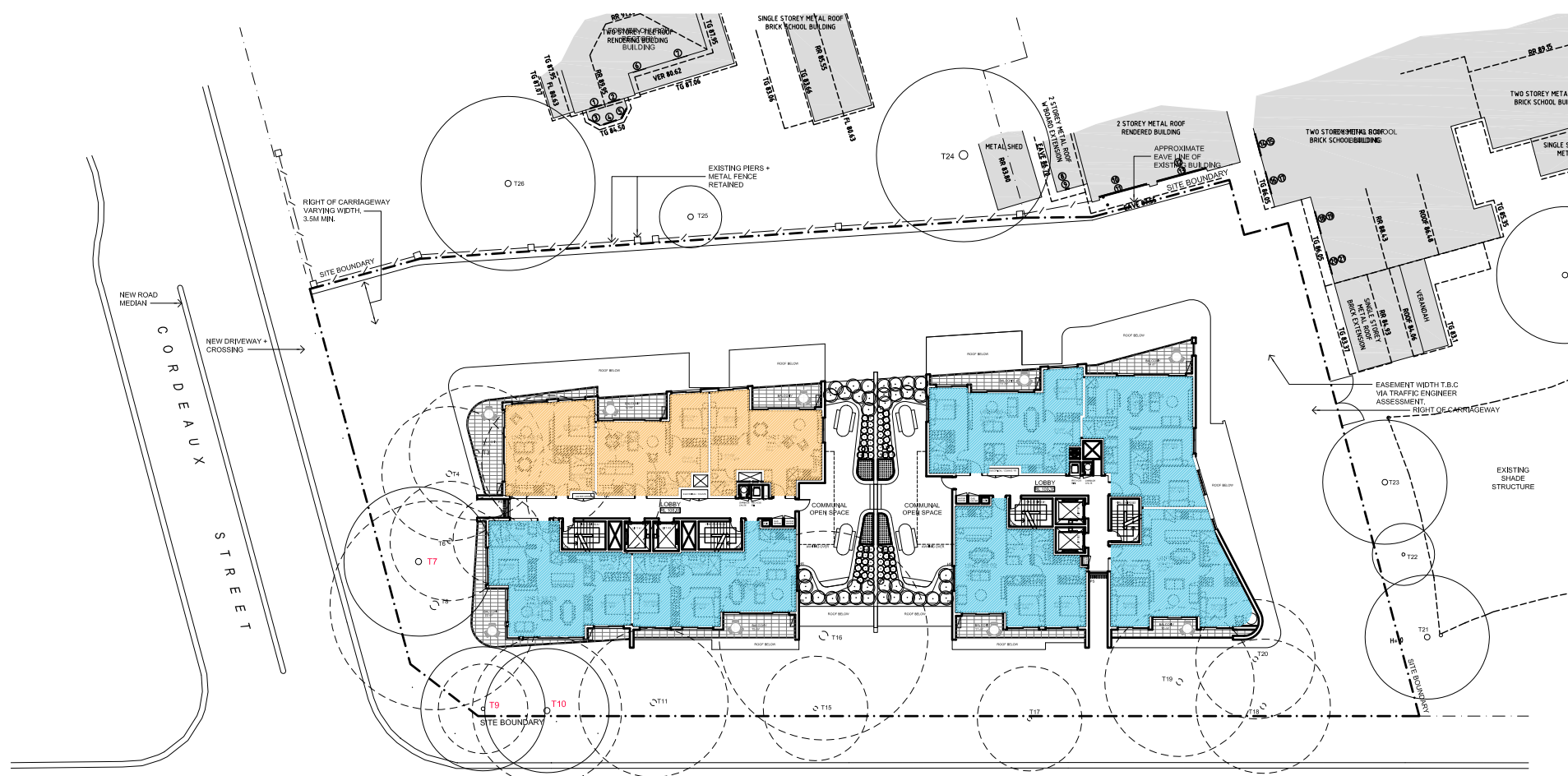
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01 LEVEL 8
NTS



02 LEVEL 9
NTS

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PLAN LEGEND:

- AW AWNING (TO FUTURE DETAIL)
B. BOLLARD
ELEC ELECTRICAL SERVICES (TO FUTURE ENG'S DETAILS)
FE FIRE EXTINGUISHER
FG FLOOR GRATE
FH FIRE HYDRANT
VL FIXED VERTICAL LOUVRES
HS HIGHLIGHT WINDOW ABOVE WALL
LS LANDSCAPING (REFER TO LANDSCAPE ARCHITECTS DRAWINGS)
MA MAINTENANCE ACCESS
MB MAIL BOX TO FUTURE DETAIL
MS MOBILE SCREEN
MV MECHANICAL RISER (TBC BY CONSULTANT- PRELIMINARY LOCATION ONLY)
NGL NATURAL GROUND LEVEL
PB PLANTER BOX (TO FUTURE DETAIL)
PS PRIVACY SCREEN
SB SAFETY BARRIER (TBC BY CONSULTANT- PRELIMINARY LOCATION ONLY)
RP RIVER PEBBLES (FOR LOCATIONS ON FLAT CONC. ROOF WITH INSULATION AS REQUIRED)
SL SUN LOUVRE SYSTEM
CWT CENTRALISED WATER TANK TO FUTURE DETAIL
RWT RAINWATER TANK TO FUTURE DETAIL
R RECYCLE BINS
RT RETAINING WALL
TD TILT DOOR

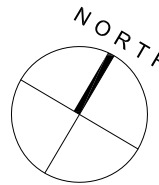
ELEVATIONS LEGEND:

- AW AWNING (TO FUTURE DETAIL)
FB FACE BRICK
GB FRAMELESS TOUGHENED GLASS BALUSTRADE (TO BCA/ AUSTRALIAN STANDARDS)
HL HORIZONTAL LOUVRES
MF METAL FENCE
MS MOBILE FEATURE SCREEN
OP OPAQUE GLAZING
PC PANEL CLADDING
PS METAL PRIVACY SCREEN (TO FUTURE SELECTION/DETAIL)
PT PAINT FINISH
RD ROLLER DOOR
RW RENDERED WALL/ SELECTED PAINT FINISH
SRW SCORED RENDERED WALL

DEVELOPMENT APPLICATION

28 CORDEAUX STREET,
CAMPBELLTOWN

PROJECT No. 1530
CLIENT: PROPERTY LOGIC



SCALE BAR
1:400 @ A3
1:200 @ A1

DATE	DESCRIPTION	REVISION
01.08.2016	ISSUE FOR DEVELOPMENT APPLICATION	A

DA 508
L8& 9 APARTMENT MIX

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LEVEL	1 BED	2 BED	TOTAL
L1	1	12	105
L2	0	12	
L3-7	0	60	
L8	3	8	
L9	3	6	
TOTAL	7	98	
PERCENTAGE %	7%	93%	

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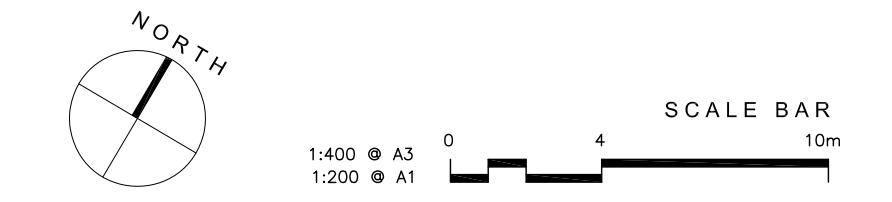
- PLAN LEGEND:**
- AW AWNING (TO FUTURE DETAIL)
 - B. BOLLARD
 - ELEC ELECTRICAL SERVICES (TO FUTURE ENG'S DETAILS)
 - FE FIRE EXTINGUISHER
 - FG FLOOR GRATE
 - FH FIRE HYDRANT
 - VL FIXED VERTICAL LOUVRES
 - HS HIGHLIGHT WINDOW ABOVE WALL
 - LS LANDSCAPING (REFER TO LANDSCAPE ARCHITECTS DRAWINGS)
 - MA MAINTENANCE ACCESS
 - MB MAIL BOX TO FUTURE DETAIL
 - MS MOBILE SCREEN
 - MV MECHANICAL RISER (TBC BY CONSULTANT- PRELIMINARY LOCATION ONLY)
 - NGL NATURAL GROUND LEVEL
 - PB PLANTER BOX (TO FUTURE DETAIL)
 - PS PRIVACY SCREEN
 - SB SAFETY BARRIER (TBC BY CONSULTANT- PRELIMINARY LOCATION ONLY)
 - RP RIVER PEBBLES (FOR LOCATIONS ON FLAT CONC. ROOF WITH INSULATION AS REQUIRED)
 - SL SUN LOUVRE SYSTEM
 - CWT CENTRALISED WATER TANK TO FUTURE DETAIL
 - RWT RAINWATER TANK TO FUTURE DETAIL
 - R RECYCLE BINS
 - RT RETAINING WALL
 - TD TILT DOOR

- ELEVATIONS LEGEND:**
- AW AWNING (TO FUTURE DETAIL)
 - FB FACE BRICK
 - GB FRAMELESS TOUGHENED GLASS BALUSTRADE (TO BCA/ AUSTRALIAN STANDARDS)
 - HL HORIZONTAL LOUVRES
 - MF METAL FENCE
 - MS MOBILE FEATURE SCREEN
 - OP OPAQUE GLAZING
 - PC PANEL CLADDING
 - PS METAL PRIVACY SCREEN (TO FUTURE SELECTION/DETAIL)
 - PT PAINT FINISH
 - RD ROLLER DOOR
 - RW RENDERED WALL/ SELECTED PAINT FINISH
 - SRW SCORED RENDERED WALL

DEVELOPMENT APPLICATION

28 CORDEAUX STREET,
CAMPBELLTOWN

PROJECT No. 1530
CLIENT: PROPERTY LOGIC



DATE	DESCRIPTION	REVISION
01.08.2016	ISSUE FOR DEVELOPMENT APPLICATION	A

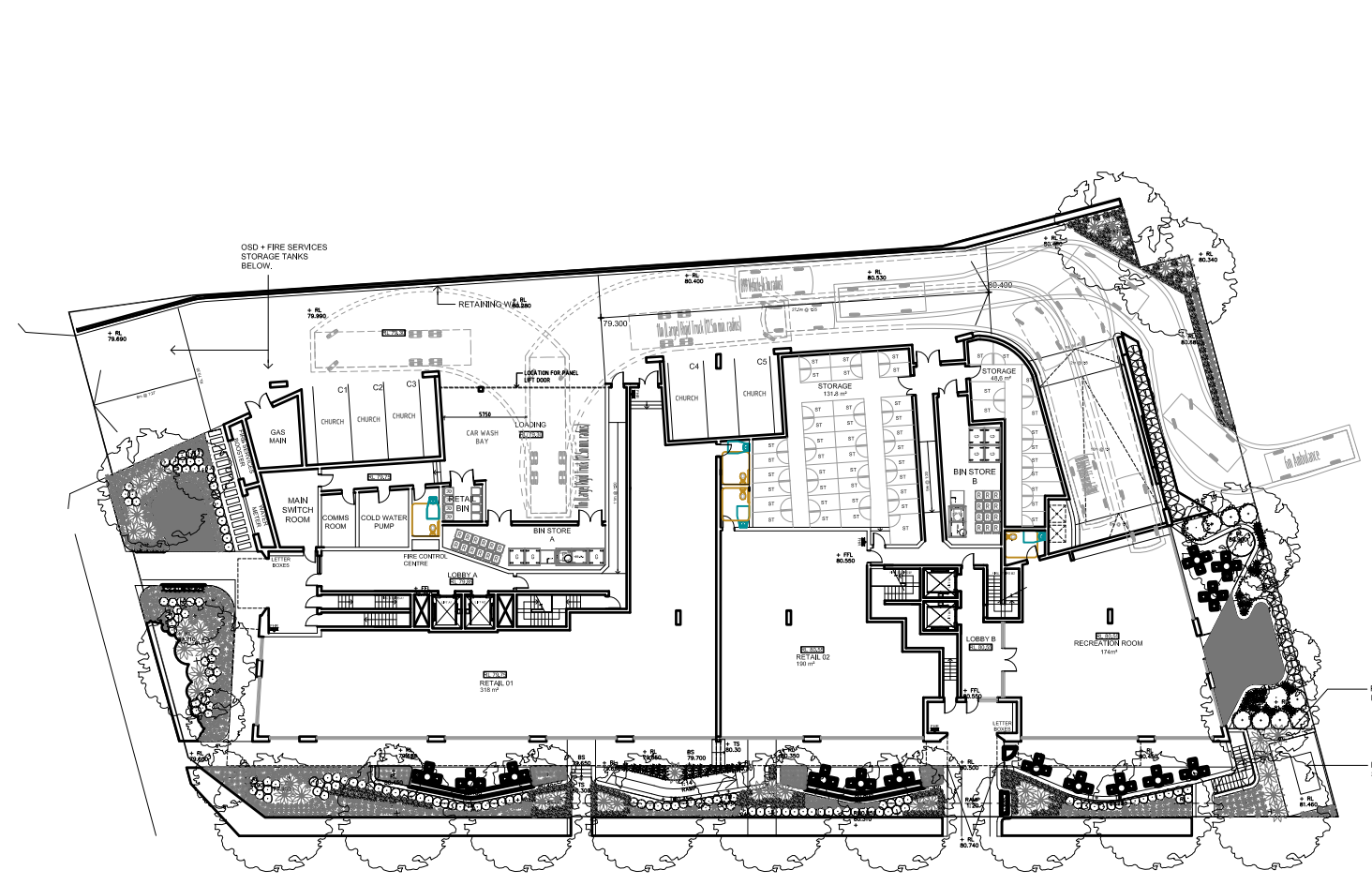
DA 509

GROUND & L1-7 PRIVATE OPEN SPACE

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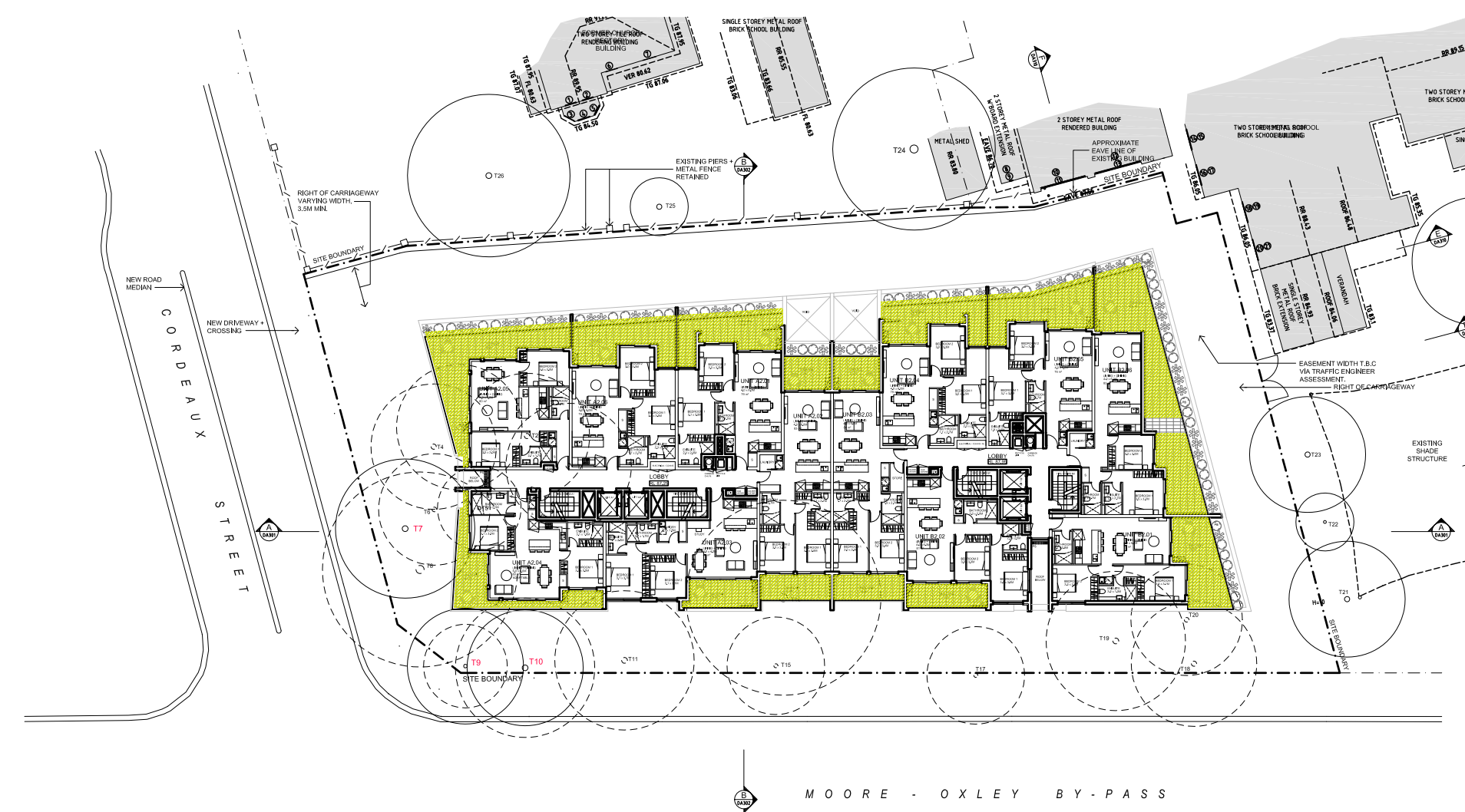
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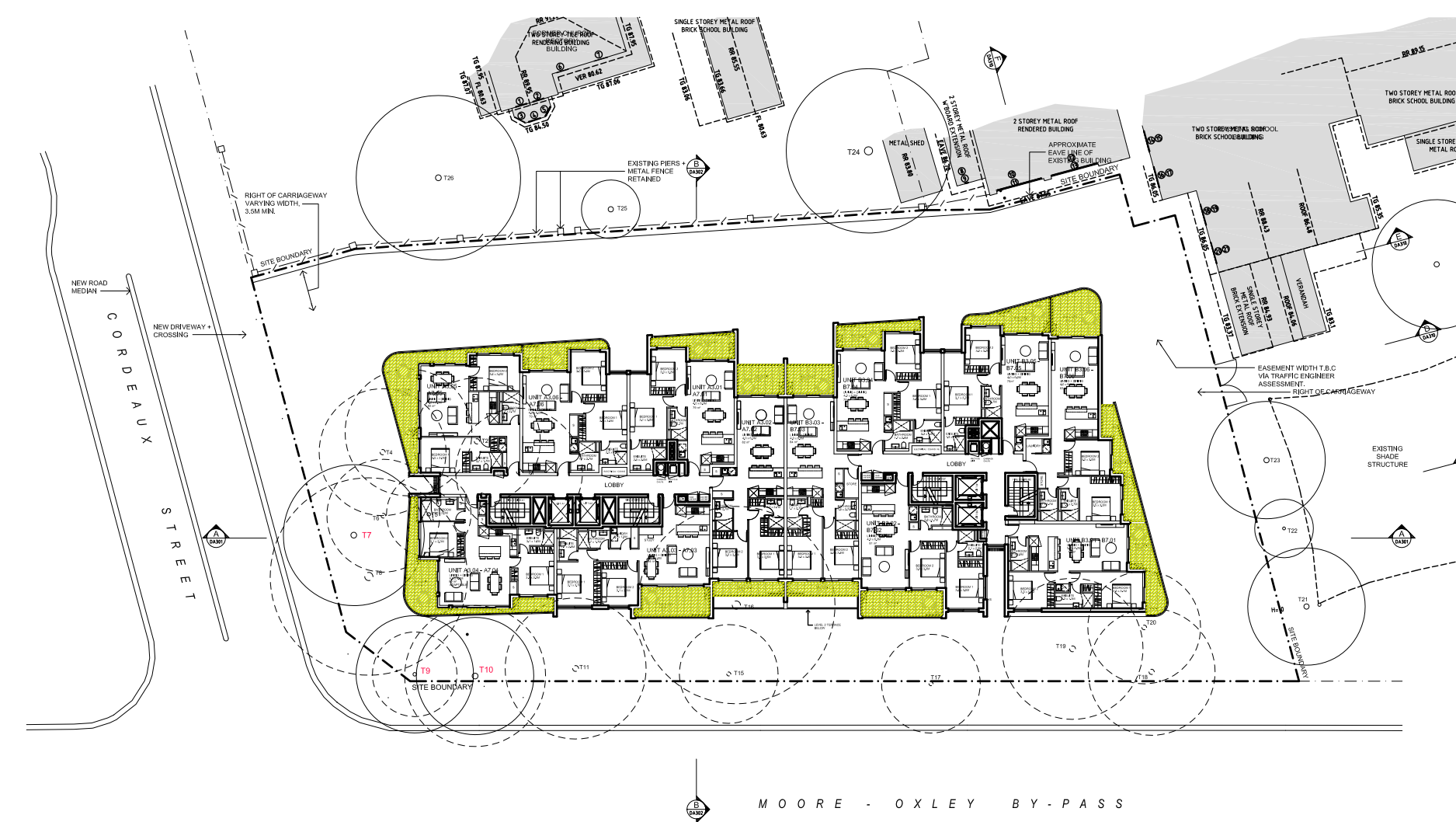
01 GROUND FLOOR PLAN
NTS



02 LEVEL 1 PLAN
NTS



03 LEVEL 2 PLAN
NTS



04 LEVEL 3-7 PLAN
NTS

 PRIVATE OPEN SPACE

- ADG (4E-1): PRIVATE OPEN SPACE
- 15m² FOR GROUND FLOOR APARTMENTS (MIN. DEPTH 3m)
 - 8m² FOR EACH 1 BEDROOM APARTMENTS (MIN. DEPTH 2m)
 - 10m² FOR EACH 2 BEDROOM APARTMENTS (MIN. DEPTH 2m)
 - 12m² FOR EACH 3 OR MORE BEDROOM APARTMENTS (MIN. DEPTH 2.4m)

GENERAL NOTES:

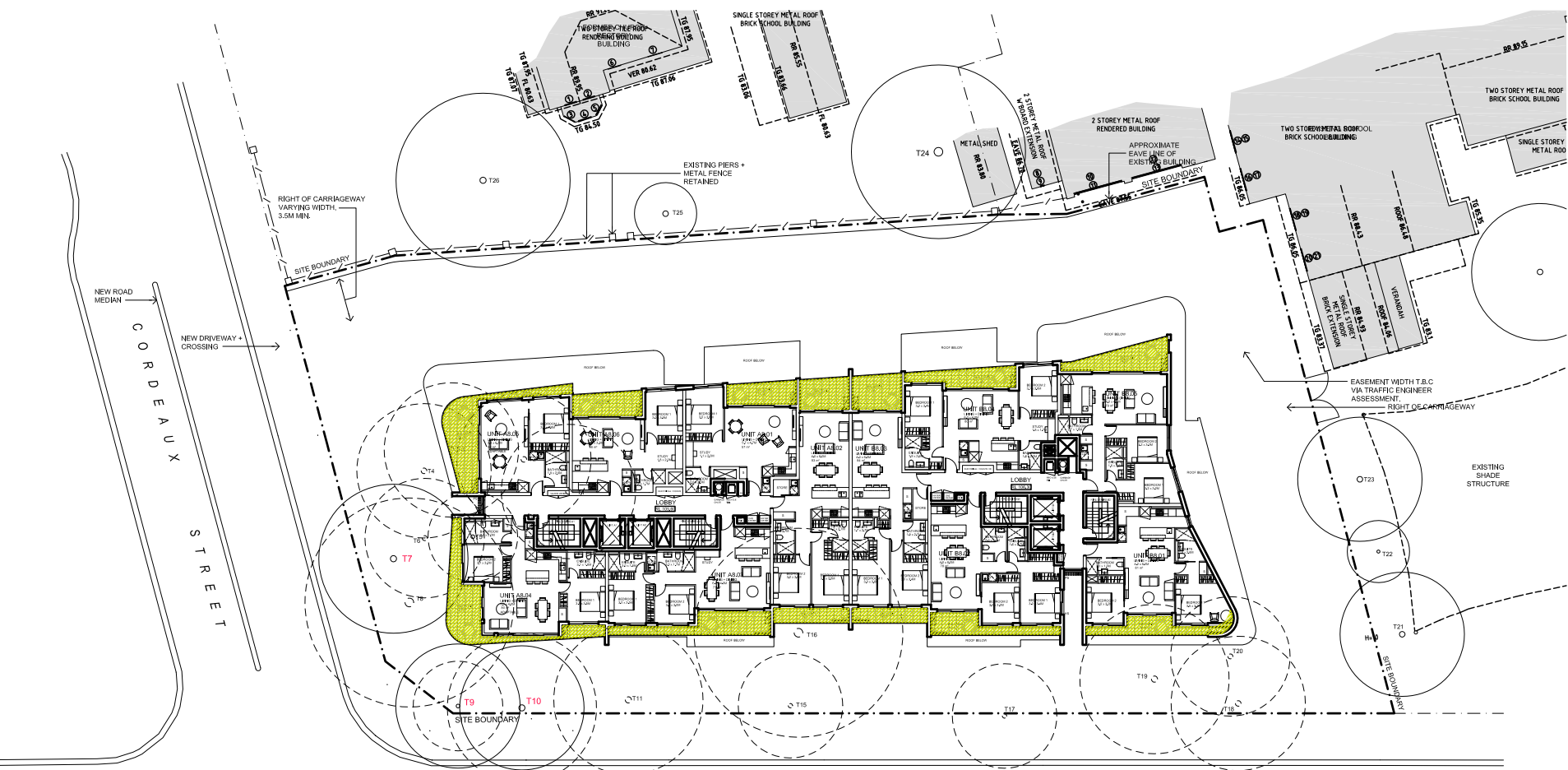
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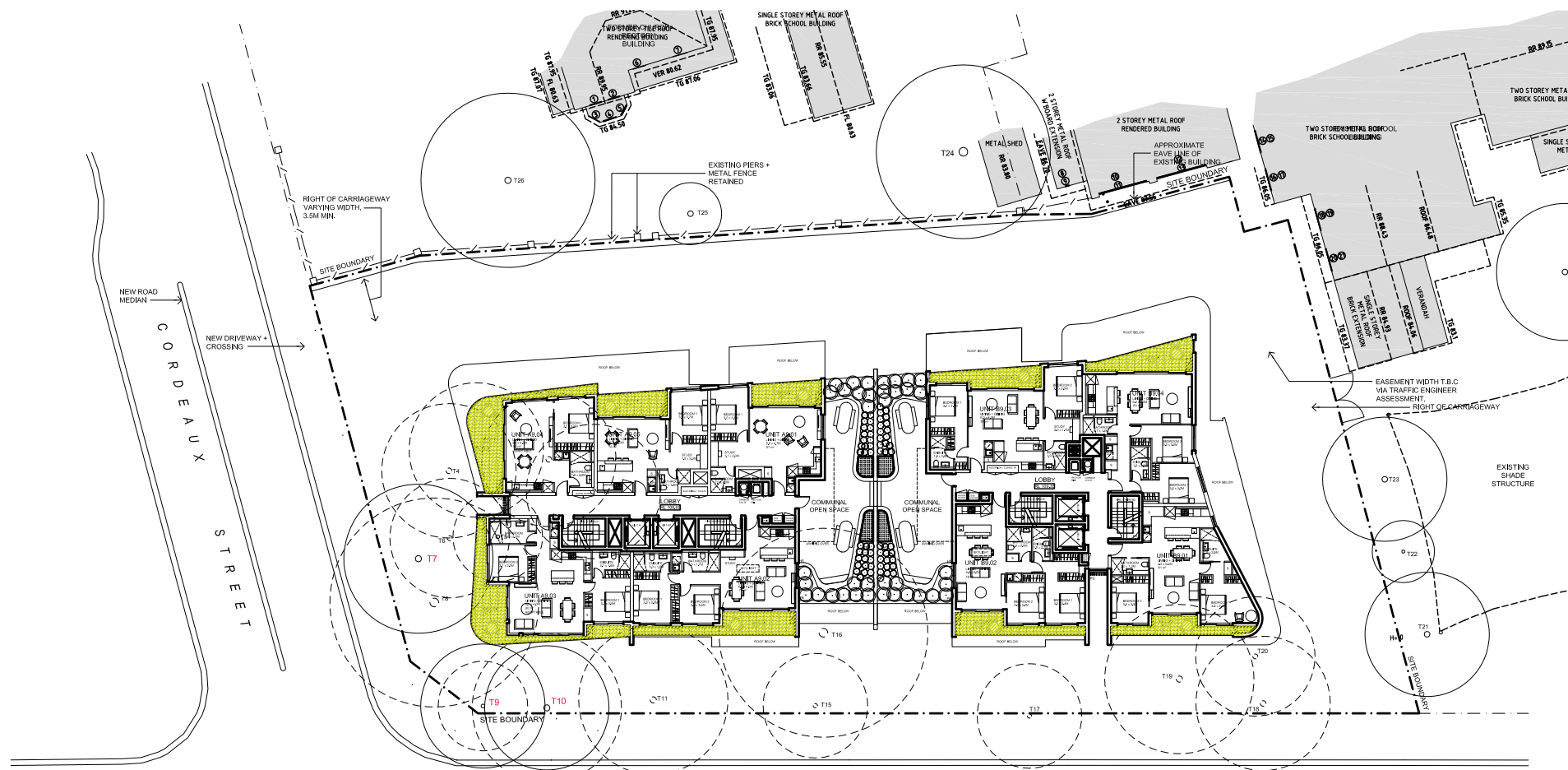
- AW AWNING (TO FUTURE DETAIL)
B. BOLLARD
ELEC ELECTRICAL SERVICES (TO FUTURE ENG'S DETAILS)
FE FIRE EXTINGUISHER
FG FLOOR GRATE
FH FIRE HYDRANT
VL FIXED VERTICAL LOUVRES
HS HIGHLIGHT WINDOW ABOVE WALL
LS LANDSCAPING (REFER TO LANDSCAPE ARCHITECTS DRAWINGS)
MA MAINTENANCE ACCESS
MB MAIL BOX TO FUTURE DETAIL
MS MOBILE SCREEN
MV MECHANICAL RISER (TBC BY CONSULTANT- PRELIMINARY LOCATION ONLY)
NGL NATURAL GROUND LEVEL
PB PLANTER BOX (TO FUTURE DETAIL)
PS PRIVACY SCREEN
SB SAFETY BARRIER (TBC BY CONSULTANT- PRELIMINARY LOCATION ONLY)
RP RIVER PEBBLES (FOR LOCATIONS ON FLAT CONC. ROOF WITH INSULATION AS REQUIRED)
SL SUN LOUVRE SYSTEM
CWT CENTRALISED WATER TANK TO FUTURE DETAIL
RWT RAINWATER TANK TO FUTURE DETAIL
R RECYCLE BINS
RT RETAINING WALL
TD TILT DOOR

ELEVATIONS LEGEND:

- AW AWNING (TO FUTURE DETAIL)
FB FACE BRICK
GB FRAMELESS TOUGHENED GLASS BALUSTRADE (TO BCA/ AUSTRALIAN STANDARDS)
HL HORIZONTAL LOUVRES
MF METAL FENCE
MS MOBILE FEATURE SCREEN
OP OPAQUE GLAZING
PC PANEL CLADDING
PS METAL PRIVACY SCREEN (TO FUTURE SELECTION/DETAIL)
PT PAINT FINISH
RD ROLLER DOOR
RW RENDERED WALL/ SELECTED PAINT FINISH
SRW SCORED RENDERED WALL



01 LEVEL 8 PLAN
NTS



02 LEVEL 9 PLAN
NTS

PRIVATE OPEN SPACE

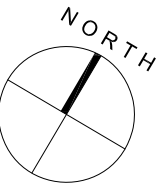
ADG (4E-1): PRIVATE OPEN SPACE

- 15m² FOR GROUND FLOOR APARTMENTS (MIN. DEPTH 3m)
- 8m² FOR EACH 1 BEDROOM APARTMENTS (MIN. DEPTH 2m)
- 10m² FOR EACH 2 BEDROOM APARTMENTS (MIN. DEPTH 2m)
- 12m² FOR EACH 3 OR MORE BEDROOM APARTMENTS (MIN. DEPTH 2.4m)

DEVELOPMENT APPLICATION

28 CORDEAUX STREET,
CAMPBELLTOWN

PROJECT No. 1530
CLIENT: PROPERTY LOGIC



SCALE BAR
1:400 @ A3
1:200 @ A1
0 4 10m

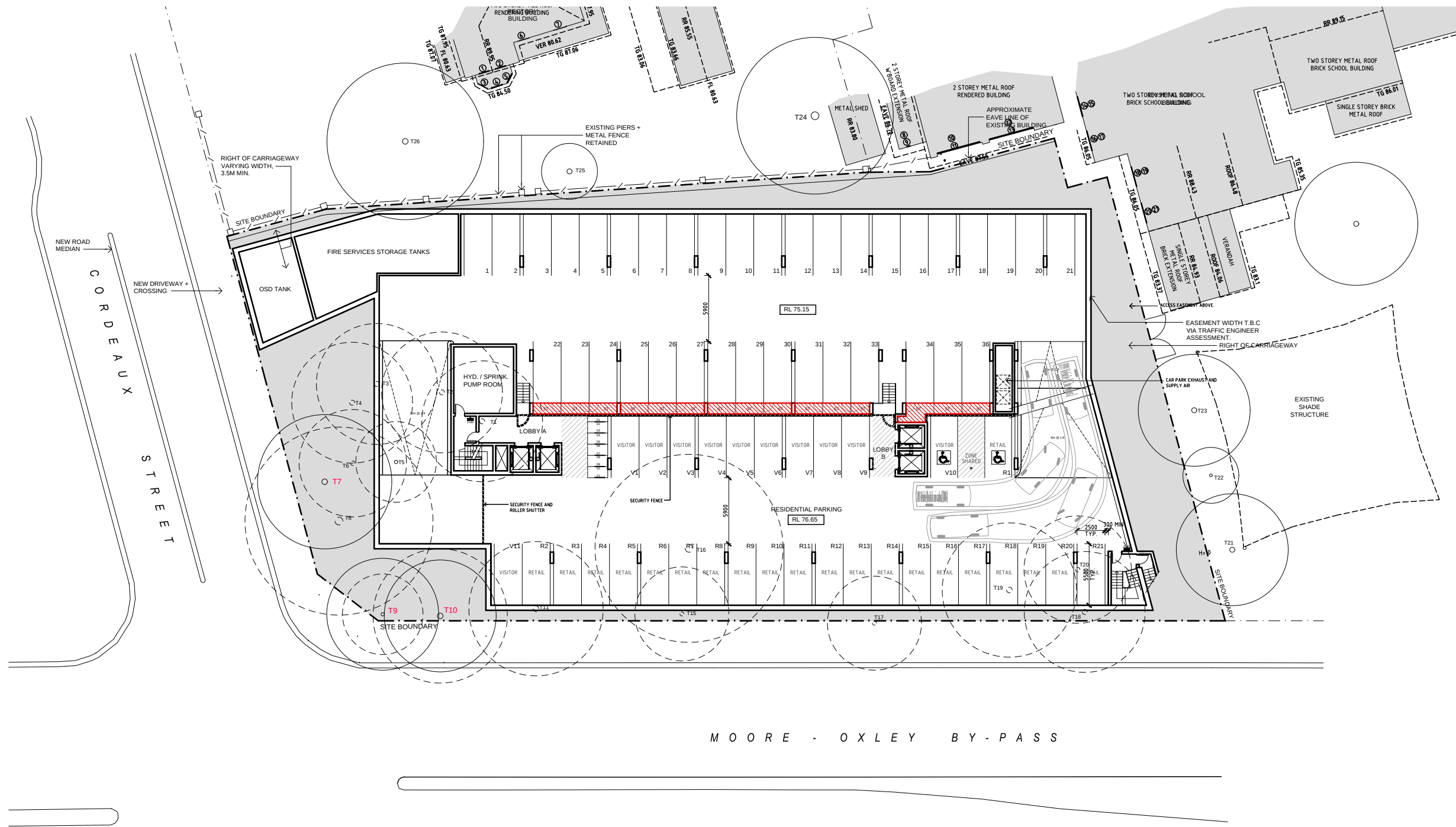
DATE	DESCRIPTION	REVISION
01.08.2016	ISSUE FOR DEVELOPMENT APPLICATION	A

DA 510
LEVEL 8 & 9 PRIVATE OPEN SPACE

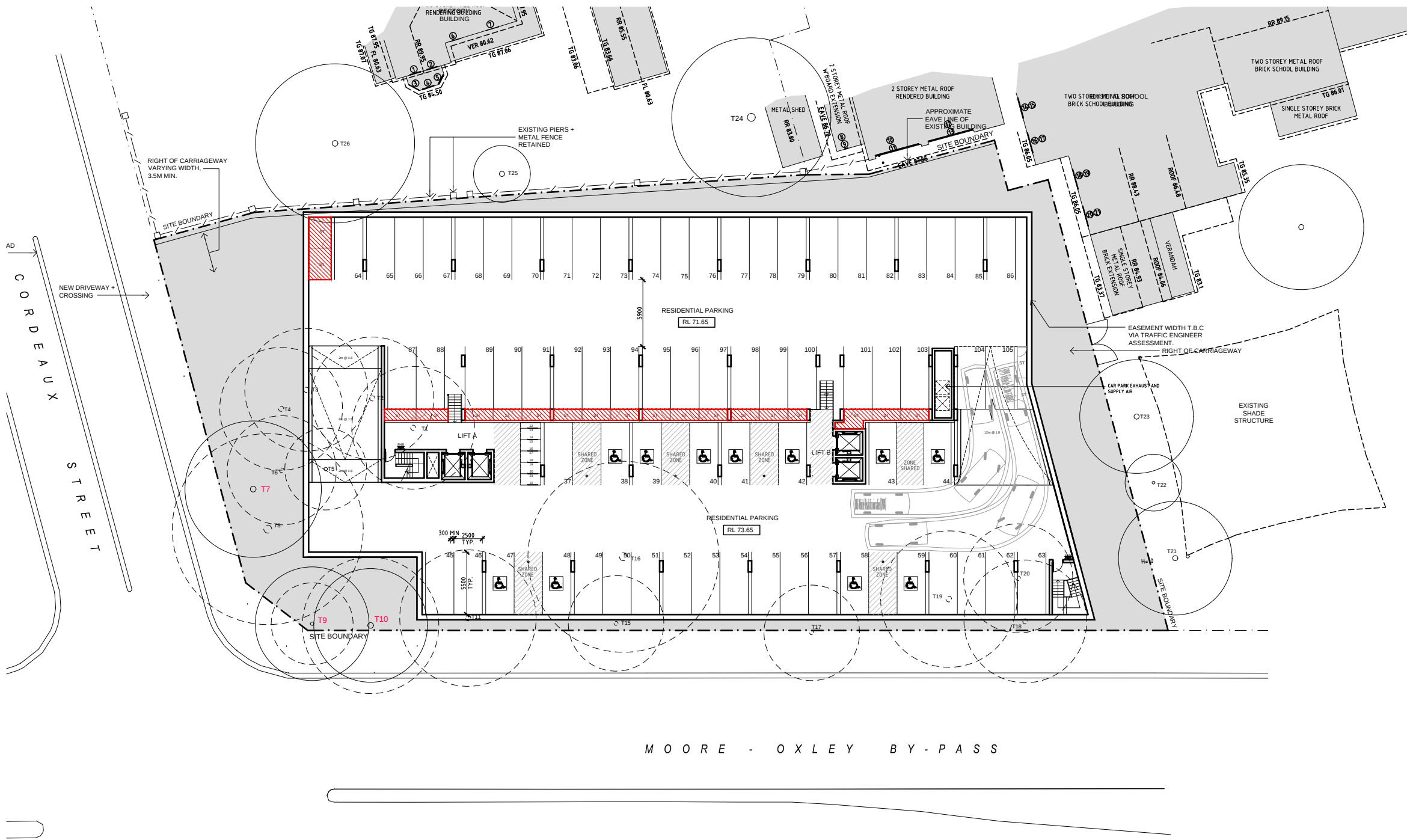
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01 BASEMENT LEVEL 1
NTS



02 BASEMENT LEVEL 2
NTS

STORAGE

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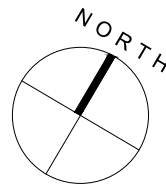
- AW AWNING (TO FUTURE DETAIL)
- B BOLLARD
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- TD TILT DOOR

ELEVATIONS LEGEND:

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- FB FACE BRICK
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- MF METAL FENCE
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- PC PANEL CLADDING
- PS METAL PRIVACY SCREEN (TO FUTURE SELECTION/DETAIL)
- PT PAINT FINISH
- RD ROLLER DOOR
- RW RENDERED WALL/ SELECTED PAINT FINISH
- SRW SCORED RENDERED WALL

DEVELOPMENT APPLICATION

28 CORDEAUX STREET,
CAMPBELLTOWN
PROJECT No. 1530
CLIENT: PROPERTY LOGIC



SCALE BAR
1:400 @ A3
1:200 @ A1
0 4 10m

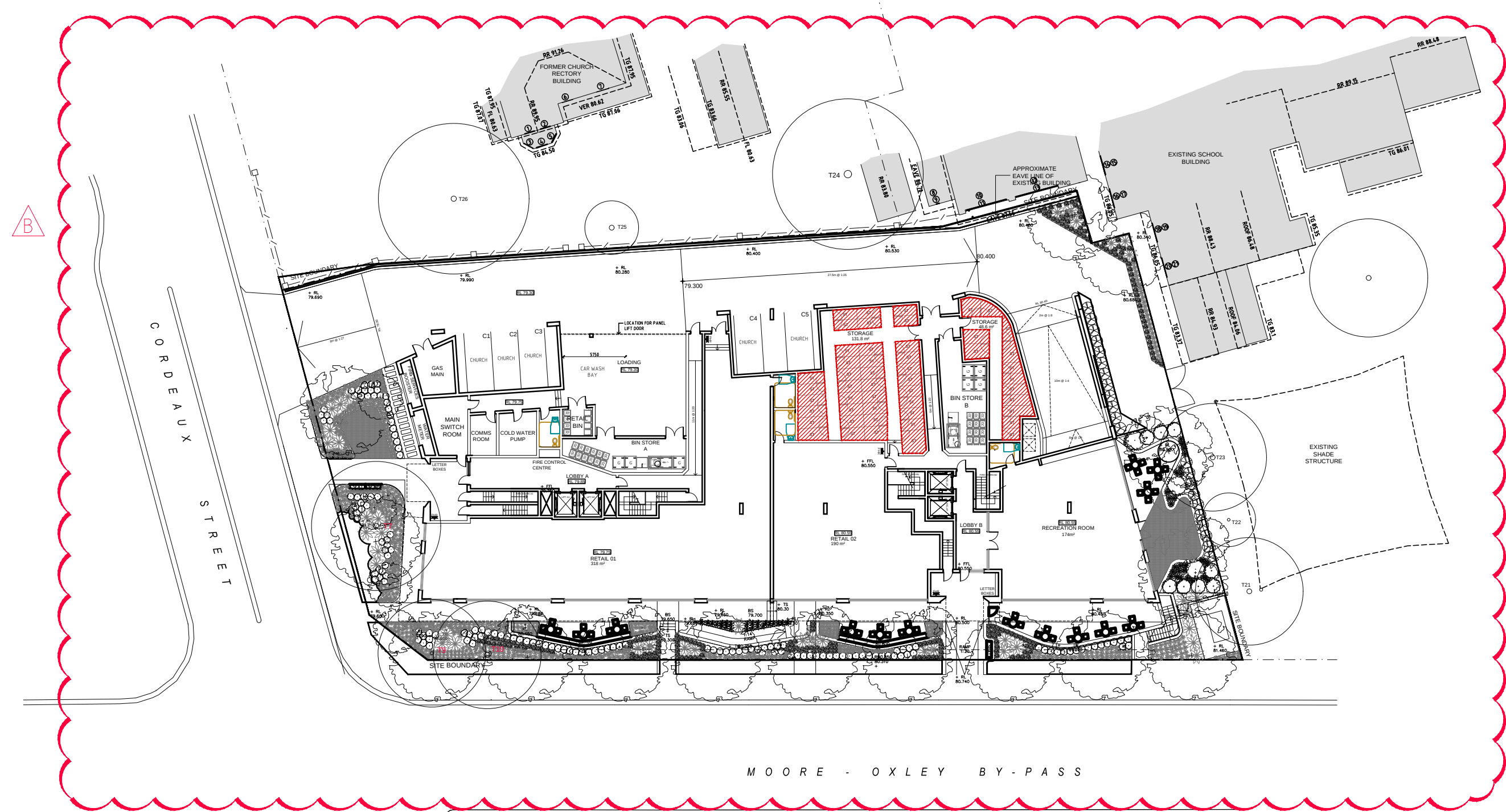
DATE	DESCRIPTION	REVISION
01.09.2016	ISSUE FOR DEVELOPMENT APPLICATION	A
26.05.2017	ISSUE FOR COUNCIL RESPONSE	B

DA 511
BASEMENT 1& 2 STORAGE DIAGRAM

PBD | ARCHITECTS

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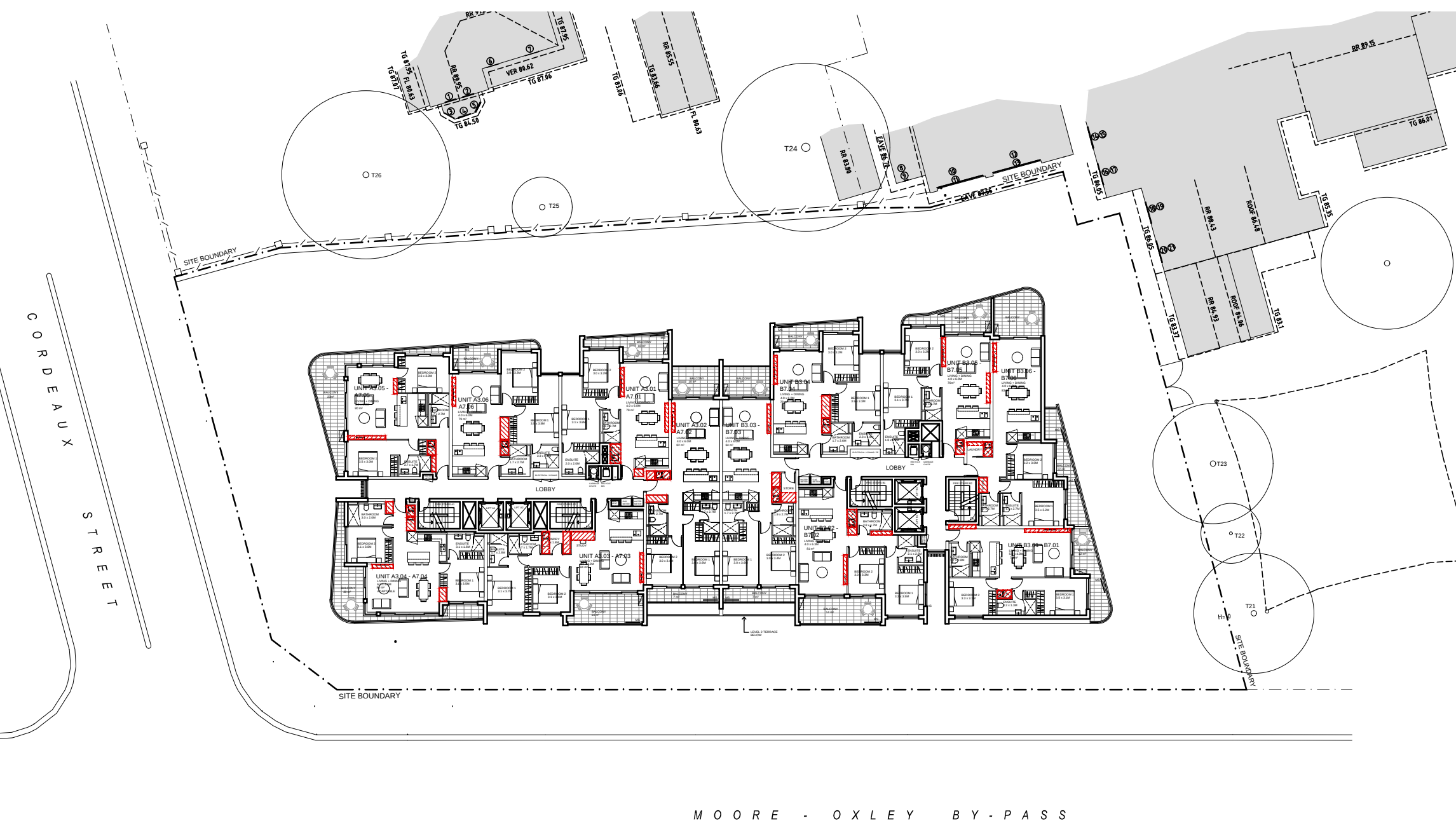
01 GROUND FLOOR PLAN
NTS



03 LEVEL 2 PLAN
NTS



02 LEVEL 1 PLAN
NTS



04 LEVEL 3-7 PLAN
NTS

GENERAL NOTES:

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- When proprietary products are referred to, install in accordance with the manufacturers written instructions

PLAN LEGEND:

- AW AWNING (TO FUTURE DETAIL)
- B BOLLARD
- ELEC ELECTRICAL SERVICES (TO FUTURE ENG'S DETAILS)
- FE FIRE EXTINGUISHER
- FG FLOOR GRATE
- FH FIRE HYDRANT
- VL FIXED VERTICAL LOUVRES
- HS HIGHLIGHT WINDOW ABOVE WALL
- LS LANDSCAPING (REFER TO LANDSCAPE ARCHITECTS DRAWINGS)
- MA MAINTENANCE ACCESS
- MB MAIL BOX TO FUTURE DETAIL
- MS MOBILE SCREEN
- MV MECHANICAL RISER (TBC BY CONSULTANT- PRELIMINARY LOCATION ONLY)
- NGL NATURAL GROUND LEVEL
- PB PLANTER BOX (TO FUTURE DETAIL)
- PS PRIVACY SCREEN
- SB SAFETY BARRIER (TBC BY CONSULTANT- PRELIMINARY LOCATION ONLY)
- RP RIVER PEBBLES (FOR LOCATIONS ON FLAT CONC. ROOF WITH INSULATION AS REQUIRED)
- SL SUN LOUVRE SYSTEM
- CWT CENTRALISED WATER TANK TO FUTURE DETAIL
- RWT RAINWATER TANK TO FUTURE DETAIL
- R RECYCLE BINS
- RT RETAINING WALL
- TD TILT DOOR

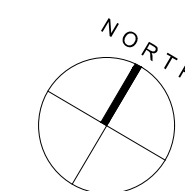
ELEVATIONS LEGEND:

- AW AWNING (TO FUTURE DETAIL)
- FB FACE BRICK
- GB FRAMELESS TOUGHENED GLASS BALUSTRADE (TO BCA/ AUSTRALIAN STANDARDS)
- HL HORIZONTAL LOUVRES
- MF METAL FENCE
- MS MOBILE FEATURE SCREEN
- OP OPAQUE GLAZING
- PC PANEL CLADDING
- PS METAL PRIVACY SCREEN (TO FUTURE SELECTION/DETAIL)
- PT PAINT FINISH
- RD ROLLER DOOR
- RW RENDERED WALL/ SELECTED PAINT FINISH
- SRW SCORED RENDERED WALL

DEVELOPMENT APPLICATION

28 CORDEAUX STREET,
CAMPBELLTOWN

PROJECT No. 1530
CLIENT: PROPERTY LOGIC



SCALE BAR
1:400 @ A3
1:200 @ A1

DATE	DESCRIPTION	REVISION
01.09.2016	ISSUE FOR DEVELOPMENT APPLICATION	A
26.05.2017	ISSUE FOR COUNCIL RESPONSE	B

DA 512
GROUND & L1-7 STORAGE DIAGRAM

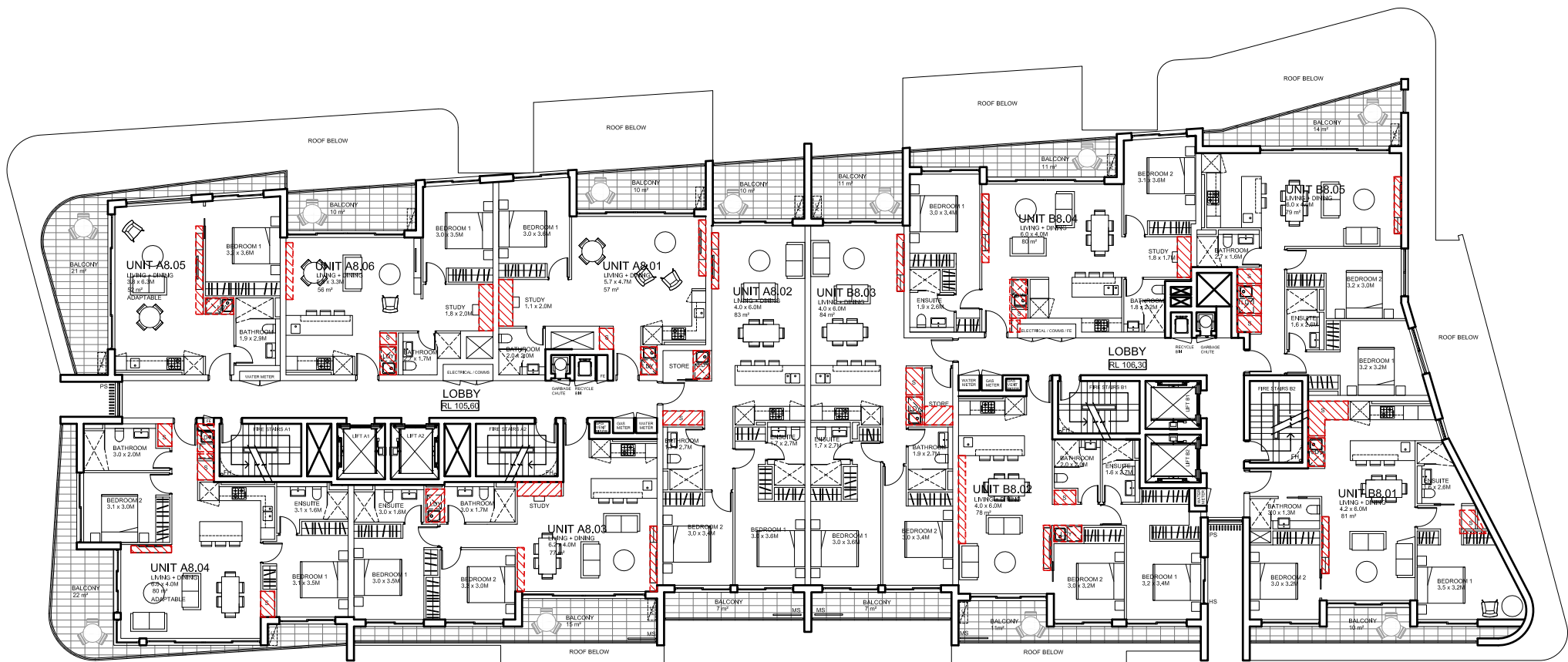
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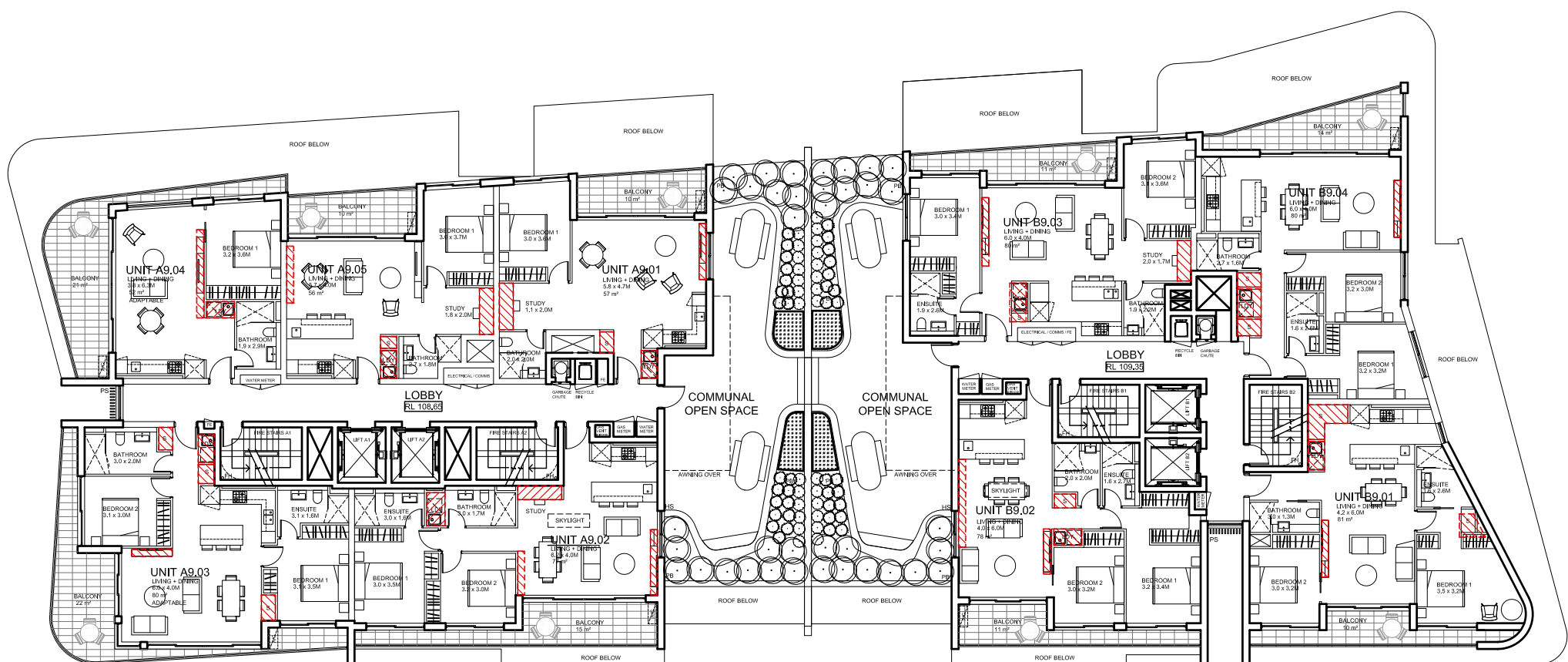
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STORAGE



01 LEVEL 8 PLAN
- NTS



02 LEVEL 9 PLAN
- NTS

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PLAN LEGEND:

- AW AWNING (TO FUTURE DETAIL)
B. BOLLARD
ELEC ELECTRICAL SERVICES (TO FUTURE ENG'S DETAILS)
FE FIRE EXTINGUISHER
FG FLOOR GRATE
FH FIRE HYDRANT
VL FIXED VERTICAL LOUVRES
HS HIGHLIGHT WINDOW ABOVE WALL
LS LANDSCAPING (REFER TO LANDSCAPE ARCHITECTS DRAWINGS)
MA MAINTENANCE ACCESS
MB MAIL BOX TO FUTURE DETAIL
MS MOBILE SCREEN
MV MECHANICAL RISER (TBC BY CONSULTANT- PRELIMINARY LOCATION ONLY)
NGL NATURAL GROUND LEVEL
PB PLANTER BOX (TO FUTURE DETAIL)
PS PRIVACY SCREEN
SB SAFETY BARRIER (TBC BY CONSULTANT- PRELIMINARY LOCATION ONLY)
RP RIVER PEBBLES (FOR LOCATIONS ON FLAT CONC. ROOF WITH INSULATION AS REQUIRED)
SL SUN LOUVRE SYSTEM
CWT CENTRALISED WATER TANK TO FUTURE DETAIL
RWT RAINWATER TANK TO FUTURE DETAIL
R RECYCLE BINS
RT RETAINING WALL
TD TILT DOOR

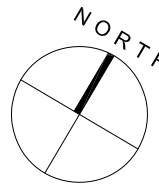
ELEVATIONS LEGEND:

- AW AWNING (TO FUTURE DETAIL)
FB FACE BRICK
GB FRAMELESS TOUGHENED GLASS BALUSTRADE (TO BCA/ AUSTRALIAN STANDARDS)
HL HORIZONTAL LOUVRES
MF METAL FENCE
MS MOBILE FEATURE SCREEN
OP OPAQUE GLAZING
PC PANEL CLADDING
PS METAL PRIVACY SCREEN (TO FUTURE SELECTION/DETAIL)
PT PAINT FINISH
RD ROLLER DOOR
RD RENDERED WALL/ SELECTED PAINT FINISH
SRW SCORED RENDERED WALL

DEVELOPMENT APPLICATION

28 CORDEAUX STREET,
CAMPBELLTOWN

PROJECT No. 1530
CLIENT: PROPERTY LOGIC



SCALE BAR
1:400 @ A3
1:200 @ A1
0 4 10m

DATE	DESCRIPTION	REVISION
01.08.2016	ISSUE FOR DEVELOPMENT APPLICATION	A

DA 513
LEVEL 8 & 9 STORAGE DIAGRAM

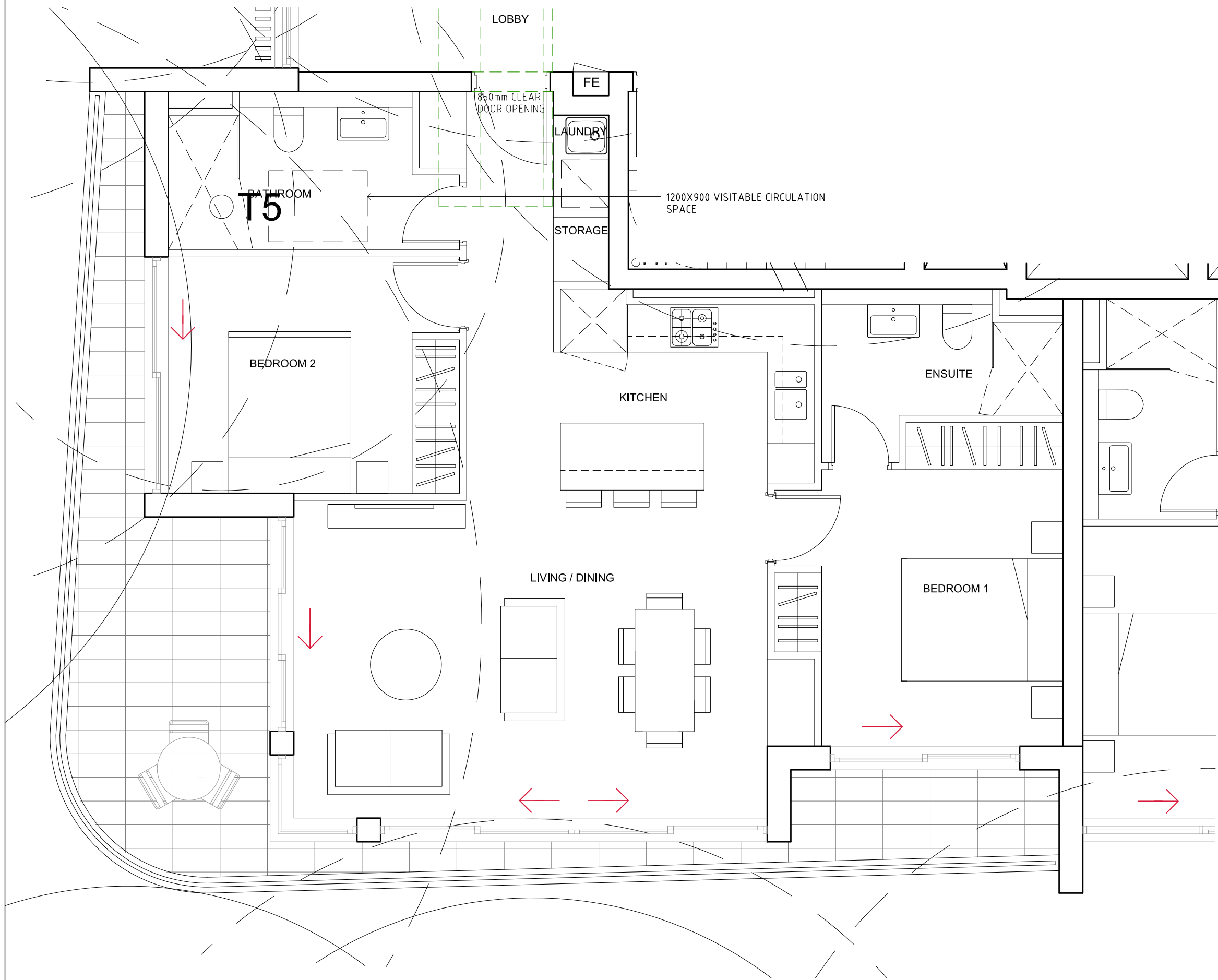
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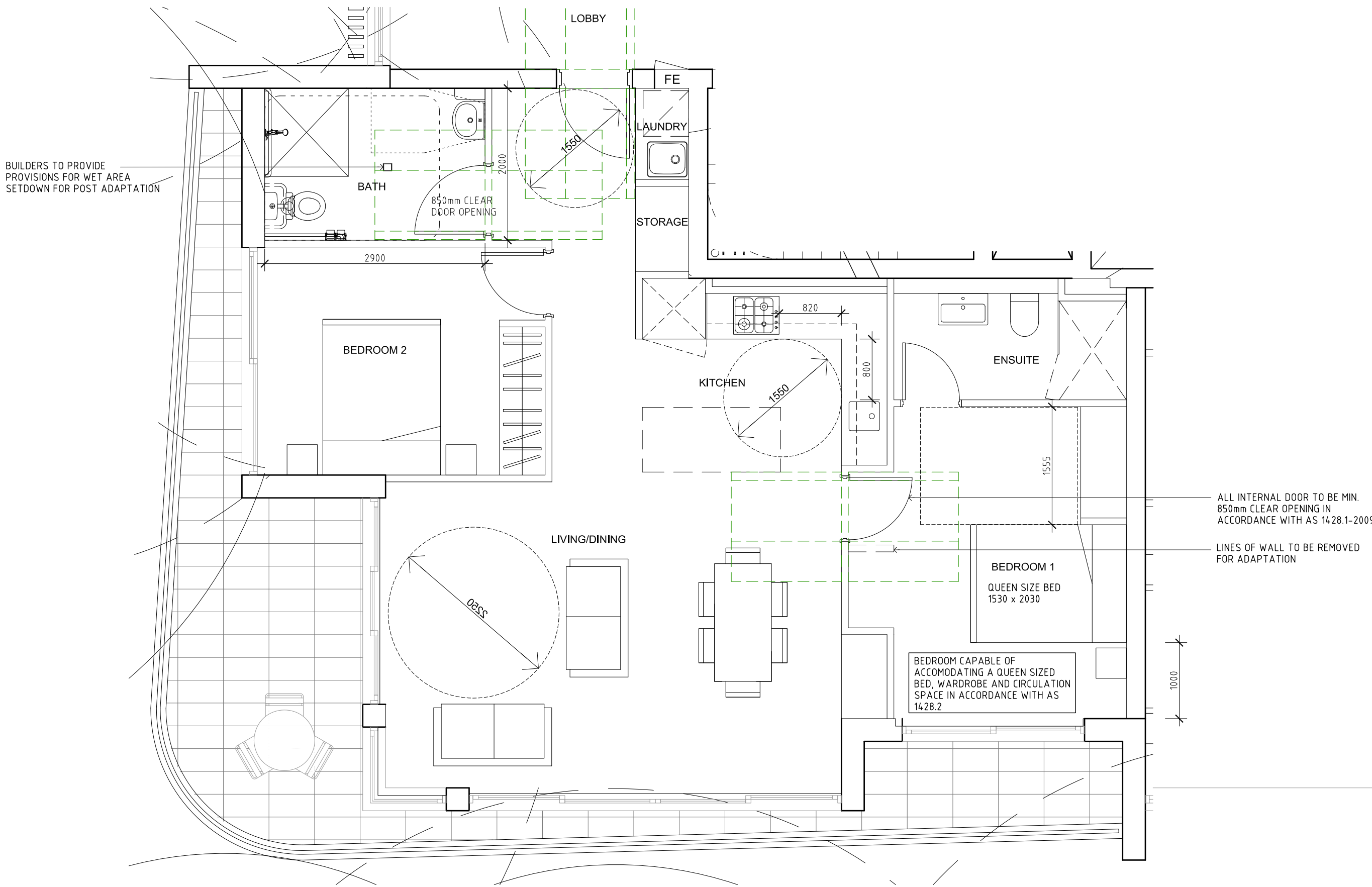


STORAGE



01 PRE ADAPTATION LAYOUT
1:50 @ A1

UNIT A1.04, A2.04, A3.04, A4.04, A5.04,
UNIT A6.04, A7.04, A8.04, A9.04



02 POST ADAPTATION LAYOUT
1:50 @ A1

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PLAN LEGEND:

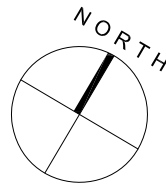
AW	AWNING (TO FUTURE DETAIL)
B.	BOLLARD
ELEC	ELECTRICAL SERVICES (TO FUTURE ENG'S DETAILS)
FE	FIRE EXTINGUISHER
FG	FLOOR GRATE
FH	FIRE HYDRANT
VL	FIXED VERTICAL LOUVRES
HS	HIGHLIGHT WINDOW ABOVE WALL
LS	LANDSCAPING (REFER TO LANDSCAPE ARCHITECTS DRAWINGS)
MA	MAINTENANCE ACCESS
MB	MAIL BOX TO FUTURE DETAIL
MS	MOBILE SCREEN
MV	MECHANICAL RISER (TBC BY CONSULTANT- PRELIMINARY LOCATION ONLY)
NGL	NATURAL GROUND LEVEL
PB	PLANTER BOX (TO FUTURE DETAIL)
PS	PRIVACY SCREEN
SB	SAFETY BARRIER (TBC BY CONSULTANT- PRELIMINARY LOCATION ONLY)
RP	RIVER PEBBLES (FOR LOCATIONS ON FLAT CONC. ROOF WITH INSULATION AS REQUIRED)
SL	SUN LOUVRE SYSTEM
CWT	CENTRALISED WATER TANK TO FUTURE DETAIL
RWT	RAINWATER TANK TO FUTURE DETAIL
R	RECYCLE BINS
RT	RETAINING WALL
TD	TLT DOOR

ELEVATIONS LEGEND:

AW	AWNING (TO FUTURE DETAIL)
FB	FACE BRICK
GB	FRAMELESS TOUGHENED GLASS BALUSTRADE (TO BCA/ AUSTRALIAN STANDARDS)
HL	HORIZONTAL LOUVRES
MF	METAL FENCE
MS	MOBILE FEATURE SCREEN
OP	OPAQUE GLAZING
PC	PANEL CLADDING
PS	METAL PRIVACY SCREEN (TO FUTURE SELECTION/DETAIL)
PT	PAINT FINISH
RD	ROLLER DOOR
RW	RENDERED WALL/ SELECTED PAINT FINISH
SRW	SCORED RENDERED WALL

DEVELOPMENT APPLICATION

28 CORDEAUX STREET,
CAMPBELLTOWN
PROJECT No. 1530
CLIENT: PROPERTY LOGIC



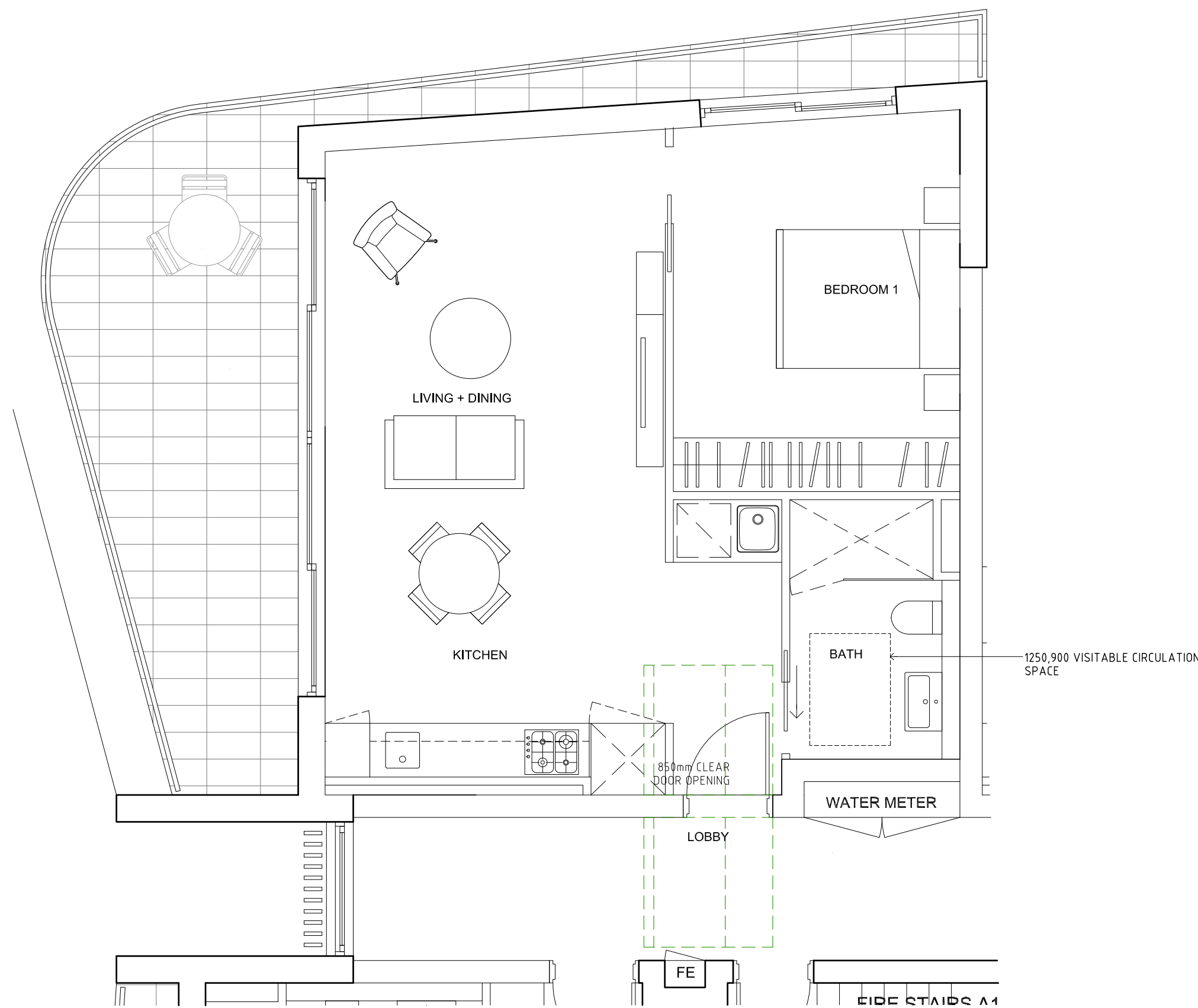
DATE	DESCRIPTION	REVISION
01.08.2016	ISSUE FOR DEVELOPMENT APPLICATION	A

DA 514
ADAPTABLE UNIT OPTION 1

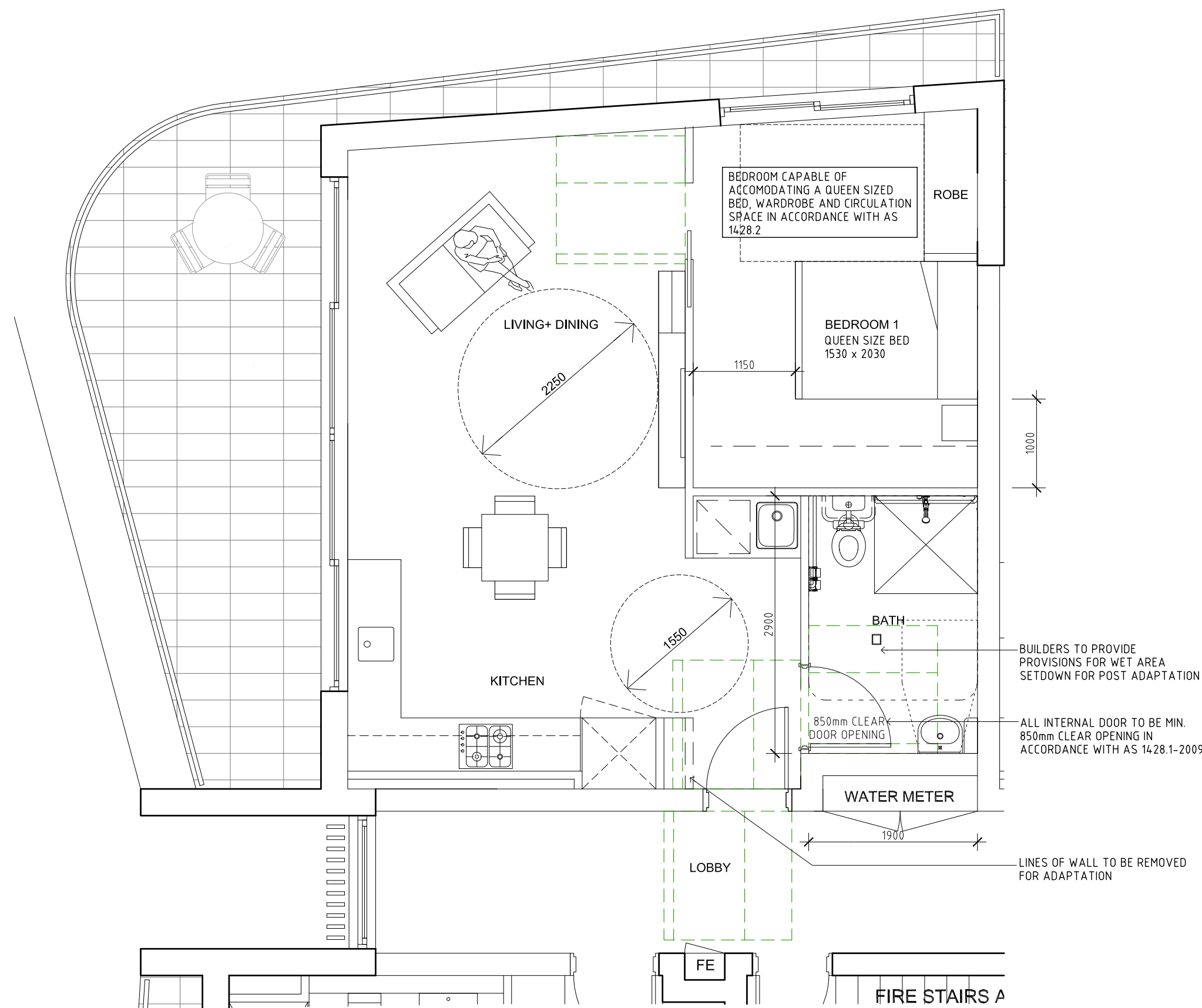
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01 PRE ADAPTATION LAYOUT
1:50 @ A1
UNIT A8.05. A9.05



02 POST ADAPTATION LAYOUT
1:50 @ A1

GENERAL NOTES:

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PLAN LEGEND:

AW	AWNING (TO FUTURE DETAIL)
B.	BOLLARD
ELEC	ELECTRICAL SERVICES (TO FUTURE ENG'S DETAILS)
FE	FIRE EXTINGUISHER
FG	FLOOR GRATE
FH	FIRE HYDRANT
VL	FIXED VERTICAL LOUVRES
HS	HIGHLIGHT WINDOW ABOVE WALL
LS	LANDSCAPING (REFER TO LANDSCAPE ARCHITECTS DRAWINGS)
MA	MAINTENANCE ACCESS
MB	MAIL BOX TO FUTURE DETAIL
MS	MOBILE SCREEN
MV	MECHANICAL RISER (TBC BY CONSULTANT- PRELIMINARY LOCATION ONLY)
NGL	NATURAL GROUND LEVEL
PB	PLANTER BOX (TO FUTURE DETAIL)
PS	PRIVACY SCREEN
SB	SAFETY BARRIER (TBC BY CONSULTANT- PRELIMINARY LOCATION ONLY)
RP	RIVER PEBBLES (FOR LOCATIONS ON FLAT CONC. ROOF WITH INSULATION AS REQUIRED)
SL	SUN LOUVRE SYSTEM
CWT	CENTRALISED WATER TANK TO FUTURE DETAIL
RWT	RAINWATER TANK TO FUTURE DETAIL
R	RECYCLE BINS
RT	RETAINING WALL
TD	TILT DOOR

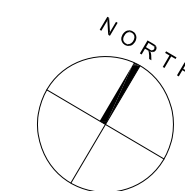
ELEVATIONS LEGEND:

AW	AWNING (TO FUTURE DETAIL)
FB	FACE BRICK
GB	FRAMELESS TOUGHENED GLASS BALUSTRADE (TO BCA/ AUSTRALIAN STANDARDS)
HL	HORIZONTAL LOUVRES
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PT	PAINT FINISH
RD	ROLLER DOOR
RW	RENDERED WALL/ SELECTED PAINT FINISH
SRW	SCORED RENDERED WALL

DEVELOPMENT APPLICATION

28 CORDEAUX STREET,
CAMPBELLTOWN

PROJECT No. 1530
CLIENT: PROPERTY LOGIC



DATE	DESCRIPTION	REVISION
01.08.2016	ISSUE FOR DEVELOPMENT APPLICATION	A

DA 515
ADAPTABLE UNIT OPTION 2

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Level	Unit.No	09:00	10:00	11:00	12:00	13:00	14:00	15:00	number hours direct solar 9pm-3pm	
LEVEL 1	A101		Y	Y	Y	Y	Y	Y	5	TRUE
	A102				Y	Y	Y	Y	3	TRUE
	A103								0	FALSE
	A104							Y	< 1	FALSE
	A105	Y	Y	Y	Y	Y	Y	Y	6	TRUE
	A106	Y	Y	Y	Y	Y	Y	Y	6	TRUE
	B101	Y	Y						1	FALSE
	B102								0	FALSE
	B103				Y	Y	Y	Y	3	TRUE
	B104	Y	Y	Y	Y	Y	Y	Y	6	TRUE
	B105			Y	Y	Y	Y	Y	4	TRUE
	B106	Y	Y	Y	Y	Y	Y	Y	6	TRUE
	B107	Y	Y	Y					2	TRUE
LEVEL 2	A201		Y	Y	Y	Y	Y	Y	5	TRUE
	A202		Y	Y	Y	Y	Y	Y	5	TRUE
	A203								0	FALSE
	A204							Y	< 1	FALSE
	A205	Y	Y	Y	Y	Y	Y	Y	6	TRUE
	A206		Y	Y	Y	Y	Y	Y	5	TRUE
	B201	Y	Y	Y	Y				3	TRUE
	B202								0	FALSE
	B203				Y	Y	Y	Y	3	TRUE
	B204		Y	Y	Y	Y	Y	Y	5	TRUE
	B205		Y	Y	Y	Y	Y	Y	5	TRUE
	B206	Y	Y	Y	Y	Y	Y	Y	6	TRUE
LEVEL 3	A301		Y	Y	Y	Y	Y	Y	5	TRUE
	A302		Y	Y	Y	Y	Y	Y	5	TRUE
	A303								0	FALSE
	A304							Y	< 1	FALSE
	A305	Y	Y	Y	Y	Y	Y	Y	6	TRUE
	A306		Y	Y	Y	Y	Y	Y	5	TRUE
	B301	Y	Y	Y	Y				3	TRUE
	B302								0	FALSE
	B303				Y	Y	Y	Y	3	TRUE
	B304		Y	Y	Y	Y	Y	Y	5	TRUE
	B305		Y	Y	Y	Y	Y	Y	5	TRUE
	B306	Y	Y	Y	Y	Y	Y	Y	6	TRUE
LEVEL 4	A401		Y	Y	Y	Y	Y	Y	5	TRUE
	A402		Y	Y	Y	Y	Y	Y	5	TRUE
	A403								0	FALSE
	A404							Y	< 1	FALSE
	A405	Y	Y	Y	Y	Y	Y	Y	6	TRUE
	A406		Y	Y	Y	Y	Y	Y	5	TRUE
	B401	Y	Y	Y	Y				3	TRUE
	B402								0	FALSE
	B403				Y	Y	Y	Y	3	TRUE
	B404		Y	Y	Y	Y	Y	Y	5	TRUE
	B405		Y	Y	Y	Y	Y	Y	5	TRUE
	B406	Y	Y	Y	Y	Y	Y	Y	6	TRUE
LEVEL 5	A501		Y	Y	Y	Y	Y	Y	5	TRUE
	A502		Y	Y	Y	Y	Y	Y	5	TRUE
	A503								0	FALSE
	A504							Y	< 1	FALSE
	A505	Y	Y	Y	Y	Y	Y	Y	6	TRUE
	A506		Y	Y	Y	Y	Y	Y	5	TRUE
	B501	Y	Y	Y	Y				3	TRUE
	B502								0	FALSE
	B503				Y	Y	Y	Y	3	TRUE
	B504		Y	Y	Y	Y	Y	Y	5	TRUE
	B505		Y	Y	Y	Y	Y	Y	5	TRUE
	B506	Y	Y	Y	Y	Y	Y	Y	6	TRUE
LEVEL 6	A601		Y	Y	Y	Y	Y	Y	5	TRUE
	A602		Y	Y	Y	Y	Y	Y	5	TRUE
	A603								0	FALSE
	A604							Y	< 1	FALSE
	A605	Y	Y	Y	Y	Y	Y	Y	6	TRUE
	A606		Y	Y	Y	Y	Y	Y	5	TRUE
	B601	Y	Y	Y	Y				3	TRUE
	B602								0	FALSE
	B603				Y	Y	Y	Y	3	TRUE
	B604		Y	Y	Y	Y	Y	Y	5	TRUE
	B605		Y	Y	Y	Y	Y	Y	5	TRUE
	B606	Y	Y	Y	Y	Y	Y	Y	6	TRUE
LEVEL 7	A701		Y	Y	Y	Y	Y	Y	5	TRUE
	A702		Y	Y	Y	Y	Y	Y	5	TRUE
	A703								0	FALSE
	A704							Y	< 1	FALSE
	A705	Y	Y	Y	Y	Y	Y	Y	6	TRUE
	A706		Y	Y	Y	Y	Y	Y	5	TRUE
	B701	Y	Y	Y	Y				3	TRUE
	B702								0	FALSE
	B703				Y	Y	Y	Y	3	TRUE
	B604		Y	Y	Y	Y	Y	Y	5	TRUE
	B705		Y	Y	Y	Y	Y	Y	5	TRUE
	B706	Y	Y	Y	Y	Y	Y	Y	6	TRUE
LEVEL 8	A801	Y	Y	Y	Y	Y	Y	Y	6	TRUE
	A802		Y	Y	Y	Y	Y	Y	5	TRUE
	A803								0	FALSE
	A804							Y	< 1	FALSE
	A805	Y	Y	Y	Y	Y	Y	Y	6	TRUE
	A806	Y	Y	Y	Y	Y	Y	Y	6	TRUE
	B801	Y	Y	Y	Y	Y	Y		5	TRUE
	B802								0	FALSE
	B803		Y	Y	Y	Y	Y	Y	5	TRUE
	B804	Y	Y	Y	Y	Y	Y	Y	6	TRUE
	B805	Y	Y	Y	Y	Y	Y	Y	6	TRUE
LEVEL 9	A901	Y	Y	Y	Y	Y	Y	Y	6	TRUE
	A902	Y	Y	Y	Y	Y			4	TRUE
	A903							Y	< 1	FALSE
	A904	Y	Y	Y	Y	Y	Y	Y	6	TRUE
	A905	Y	Y	Y	Y	Y	Y	Y	6	TRUE
	B901	Y	Y	Y	Y	Y	Y		5	TRUE
	B902		Y	Y	Y	Y	Y	Y	5	TRUE
	B903	Y	Y	Y	Y	Y	Y	Y	6	TRUE
	B904	Y	Y	Y	Y	Y	Y	Y	6	TRUE

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PLAN LEGEND:

- AW

B.

ELEC

FE

FG

FH

VL

HS

LS

MA

MB

MS

MV

NGL

PB

PS

SB

RP

SL

CWT

RWT

R

RT

TD
- AWNING (TO FUTURE DETAIL)

BOLLARD

ELECTRICAL SERVICES (TO FUTURE ENG'S DETAILS)

FIRE EXTINGUISHER

FLOOR GRATE

FIRE HYDRANT

FIXED VERTICAL LOUVRES

HIGHLIGHT WINDOW ABOVE WALL

LANDSCAPING (REFER TO LANDSCAPE ARCHITECTS DRAWINGS)

MAINTENANCE ACCESS

MAIL BOX TO FUTURE DETAIL

MOBILE SCREEN

MECHANICAL RISER (TBC BY CONSULTANT- PRELIMINARY LOCATION ONLY)

NATURAL GROUND LEVEL

PLANTER BOX (TO FUTURE DETAIL)

PRIVACY SCREEN

SAFETY BARRIER (TBC BY CONSULTANT- PRELIMINARY LOCATION ONLY

RIVER PEBBLES (FOR LOCATIONS ON FLAT CONC. ROOF WITH INSULATION AS REQUIRED)

SUN LOUVRE SYSTEM

CENTRALISED WATER TANK TO FUTURE DETAIL

RAINWATER TANK TO FUTURE DETAIL

RECYCLE BINS

RETAINING WALL

TLT DOOR

ELEVATIONS LEGEND:

- AW

FB

GB

HL

MF

MS

OP

PC

PS

PT

RD

RW

SRW
- AWNING (TO FUTURE DETAIL)

FACE BRICK

FRAMELESS TOUGHENED GLASS BALUSTRADE (TO BCA/ AUSTRALIAN STANDARDS)

HORIZONTAL LOUVRES

METAL FENCE

MOBILE FEATURE SCREEN

OPAQUE GLAZING

PANEL CLADDING

METAL PRIVACY SCREEN (TO FUTURE SELECTION)DETAIL

PAINT FINISH

ROLLER DOOR

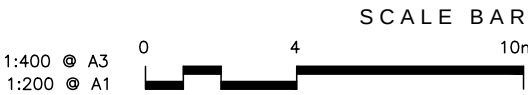
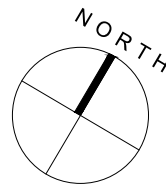
RENDERED WALL/ SELECTED PAINT FINISH

SCORED RENDERED WALL

DEVELOPMENT APPLICATION

28 CORDEAUX STREET,
CAMPBELLTOWN

PROJECT No. 1530
CLIENT: PROPERTY LOGIC



DATE	DESCRIPTION	REVISION
01.09.2016	ISSUE FOR DEVELOPMENT APPLICATION	A
26.05.2017	ISSUE FOR COUNCIL RESPONSE	B

DA 712

SOLAR STUDY TABLE

PBD | ARCHITECTS

A B N 36 147 035 550

P - (02) 9698 8140 E - info@pbdarchitects.com.au W - www.pbdarchitects.com.au
Level 2, 52 Albion Street, Surry Hills NSW 2010

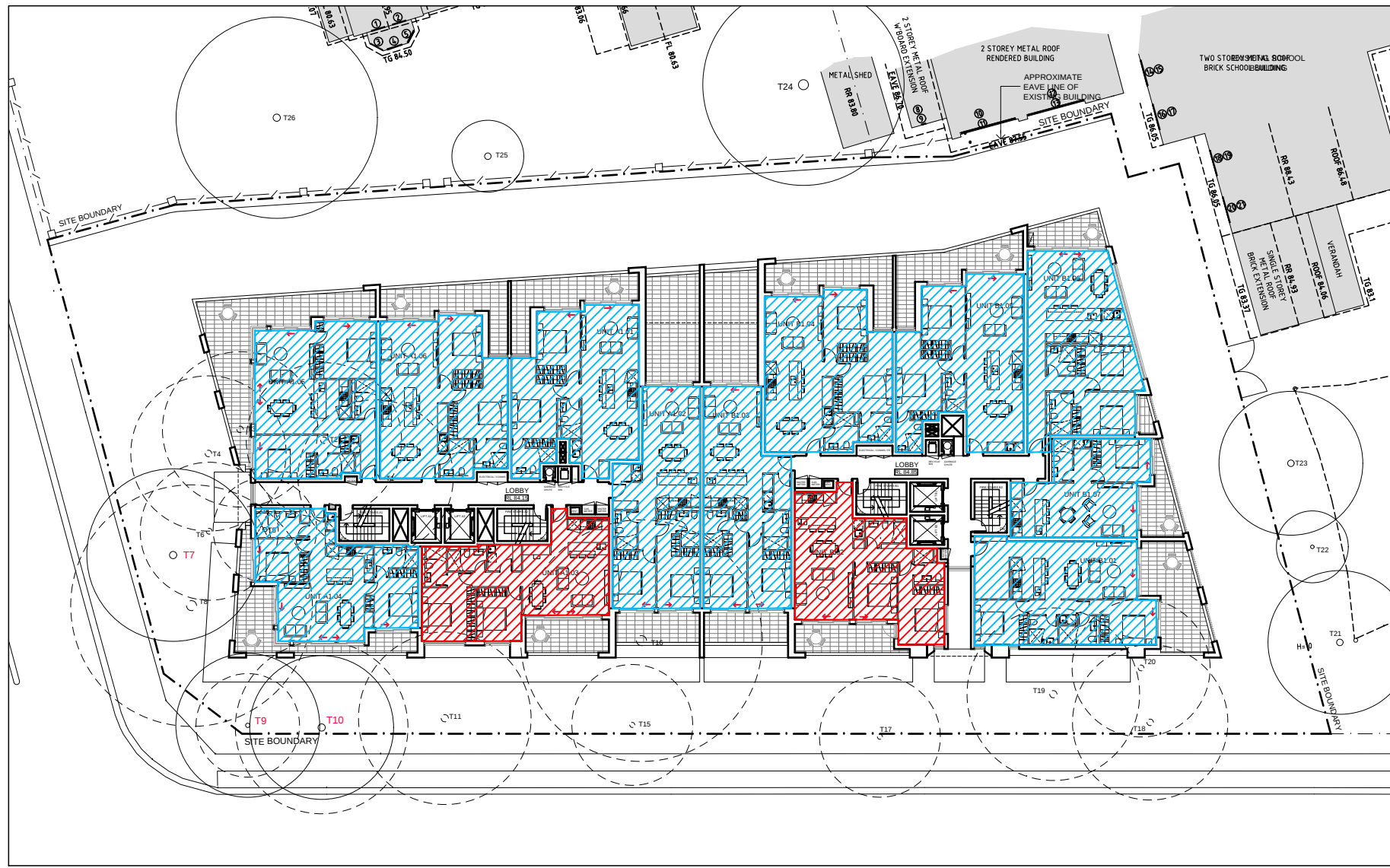
Contractor to verify all dimensions on site before commencing work.
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SOLAR CALCULATIONS

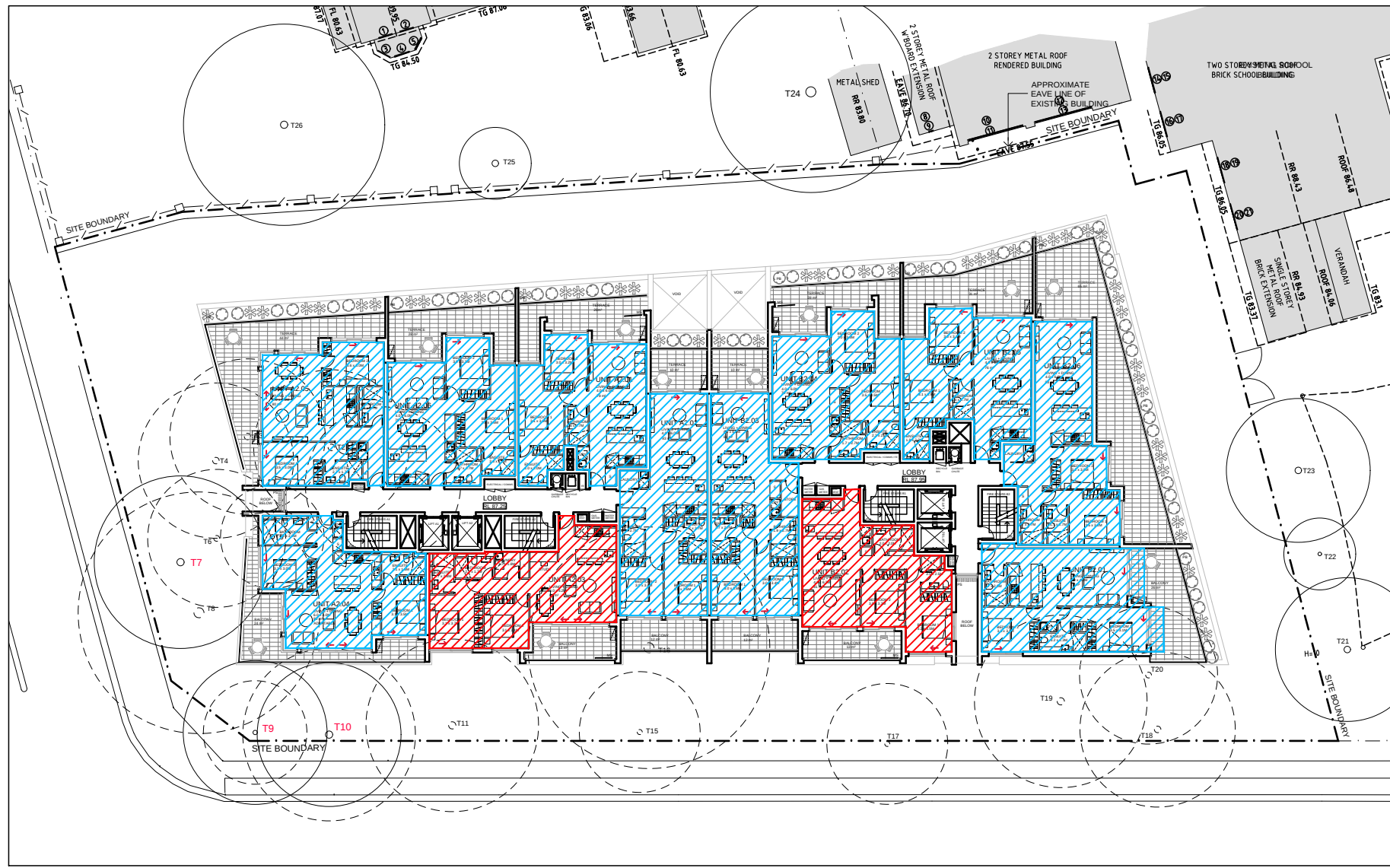
ADG OBJECTIVE 4A1.1
MINIMUM 2 HOUR DIRECT SUNLIGHT
BETWEEN 9AM AND 3PM AT MID WINTER

NUMBER OF UNITS = 78
= 74%

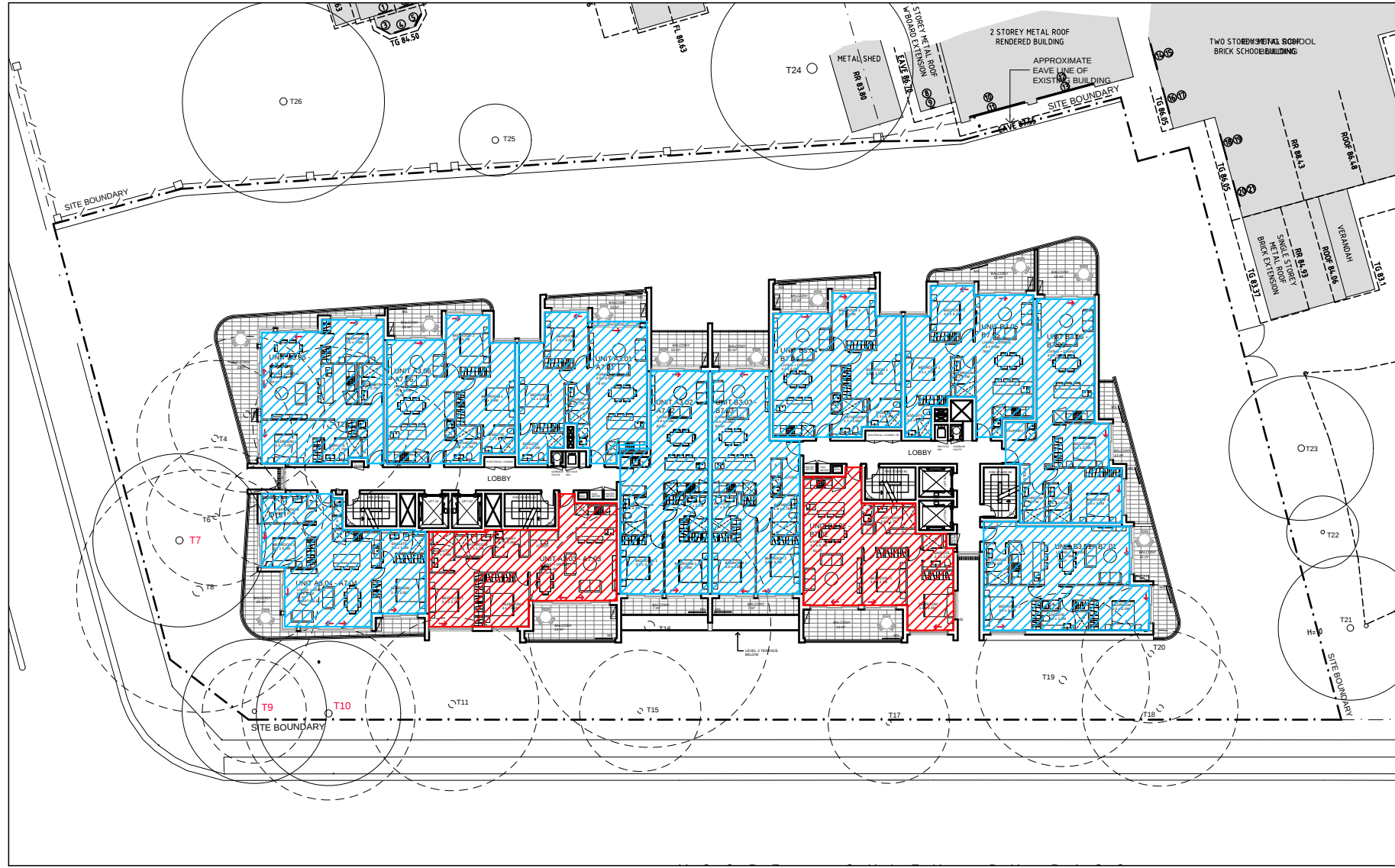
ADG OBJECTIVE 4A1.3
MAXIMUM 15% OF APARTMENTS TO RECEIVE NO
SUNLIGHT BETWEEN 9AM AND 3PM MID WINTER
NUMBER OF UNITS = 16
= 15%



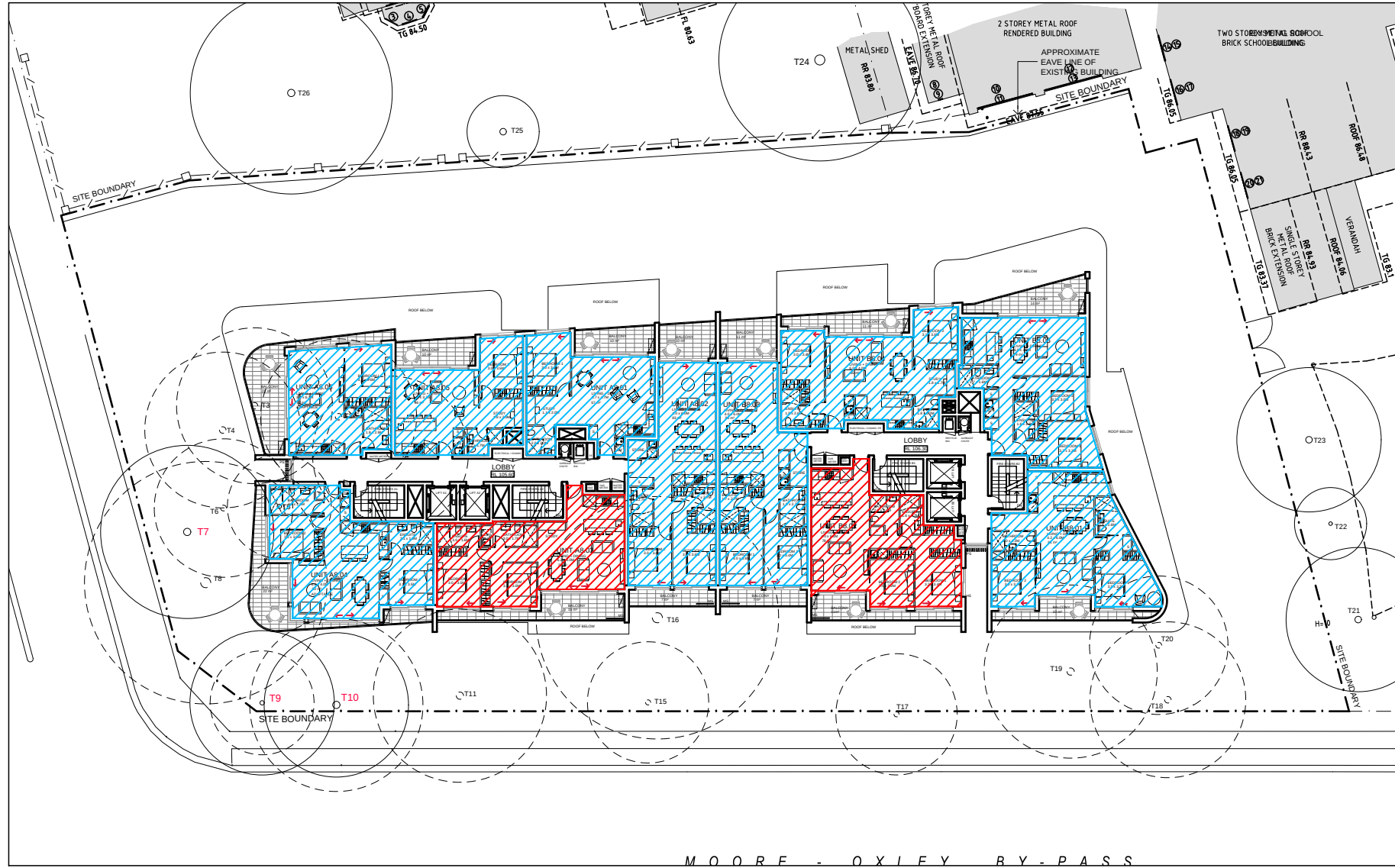
01 LEVEL 1 FLOOR PLAN
1:200



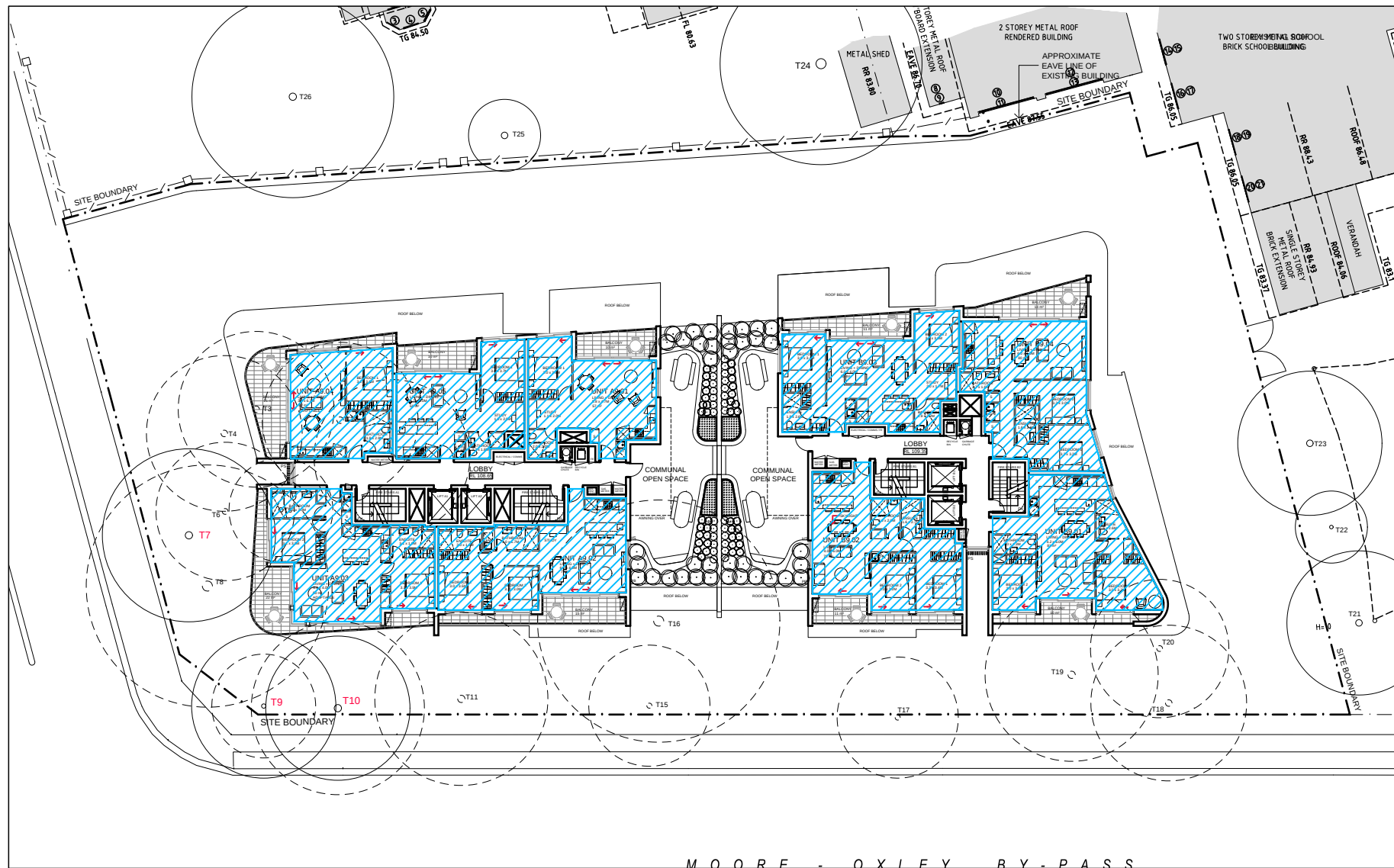
02 LEVEL 2 FLOOR PLAN
1:200



03 LEVEL 3-7 FLOOR PLAN
1:200

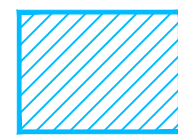


04 LEVEL 8 FLOOR PLAN
1:200

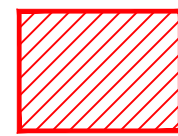


05 LEVEL 9 FLOOR PLAN
1:200

LEGEND:



APARTMENTS TO RECEIVE SUNLIGHT
BETWEEN 9AM AND 3PM MID WINTER



APARTMENTS TO RECEIVE NO SUNLIGHT
BETWEEN 9AM AND 3PM MID WINTER

SOLAR CALCULATIONS

ADG OBJECTIVE 4A1.1
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= 74%

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MAXIMUM 15% OF APARTMENTS TO RECEIVE NO
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NUMBER OF UNITS = 16
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GENERAL NOTES:

- All work to comply with Building Code of Australia, requirements of relevant Statutory Authorities/ Local Government & relevant Australian Building Standards
- Contractor to verify all dimensions on site before commencing work - should a discrepancy be identified please confirm with Architect prior to proceeding (do not scale from drawings)
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- Drawings for DEVELOPMENT APPLICATION purpose only and NOT FOR CONSTRUCTION
- When proprietary products are referred to, install in accordance with the manufacturers written instructions

PLAN LEGEND:

- AW AWNING (TO FUTURE DETAIL)
- B BOLLARD
- ELEC ELECTRICAL SERVICES (TO FUTURE ENG'S DETAILS)
- FE FIRE EXTINGUISHER
- FG FLOOR GRATE
- FH FIRE HYDRANT
- VL FIXED VERTICAL LOUVRES
- HS HIGHLIGHT WINDOW ABOVE WALL
- LS LANDSCAPING (REFER TO LANDSCAPE ARCHITECTS DRAWINGS)
- MA MAINTENANCE ACCESS
- MB MAIL BOX TO FUTURE DETAIL
- MS MOBILE SCREEN
- MV MECHANICAL RISER (TBC BY CONSULTANT- PRELIMINARY LOCATION ONLY)
- NGL NATURAL GROUND LEVEL
- PB PLANTER BOX (TO FUTURE DETAIL)
- PS PRIVACY SCREEN
- SB SAFETY BARRIER (TBC BY CONSULTANT- PRELIMINARY LOCATION ONLY)
- RP RIVER PEBBLES (FOR LOCATIONS ON FLAT CONC. ROOF WITH INSULATION AS REQUIRED)
- SL SUN LOUVRE SYSTEM
- CWT CENTRALISED WATER TANK TO FUTURE DETAIL
- RWT RAINWATER TANK TO FUTURE DETAIL
- R RECYCLE BINS
- RT RETAINING WALL
- TD TILT DOOR

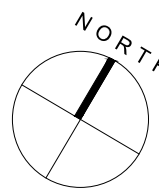
ELEVATIONS LEGEND:

- AW AWNING (TO FUTURE DETAIL)
- FB FACE BRICK
- GB FRAMELESS TOUGHENED GLASS BALUSTRADE (TO BCA/ AUSTRALIAN STANDARDS)
- HL HORIZONTAL LOUVRES
- MF METAL FENCE
- MS MOBILE FEATURE SCREEN
- OP OPAQUE GLAZING
- PC PANEL CLADDING
- PS METAL PRIVACY SCREEN (TO FUTURE SELECTION/DETAIL)
- PT PAINT FINISH
- RD ROLLER DOOR
- RW RENDERED WALL/ SELECTED PAINT FINISH
- SRW SCORED RENDERED WALL

DEVELOPMENT APPLICATION

28 CORDEAUX STREET,
CAMPBELLTOWN

PROJECT No. 1530
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SCALE BAR
1:400 @ A3
1:200 @ A1

DATE	DESCRIPTION	REVISION
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26.05.2017	ISSUE FOR COUNCIL RESPONSE	B

DA 713
SOLAR STUDY DIAGRAM

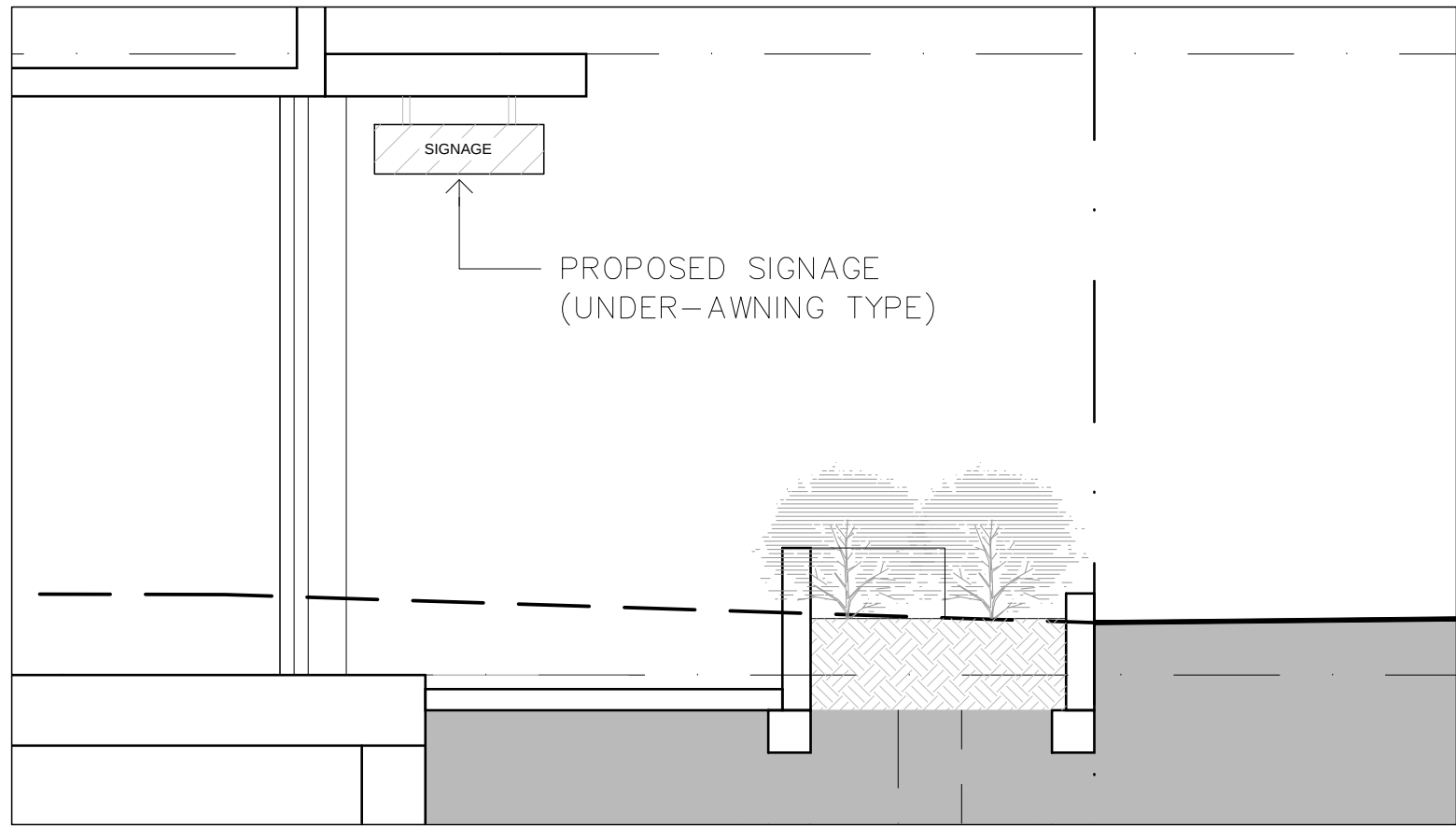
PBD | ARCHITECTS

A B N 36 147 035 550
P - (02) 9698 8140 E - info@pbdarchitects.com.au W - www.pbdarchitects.com.au
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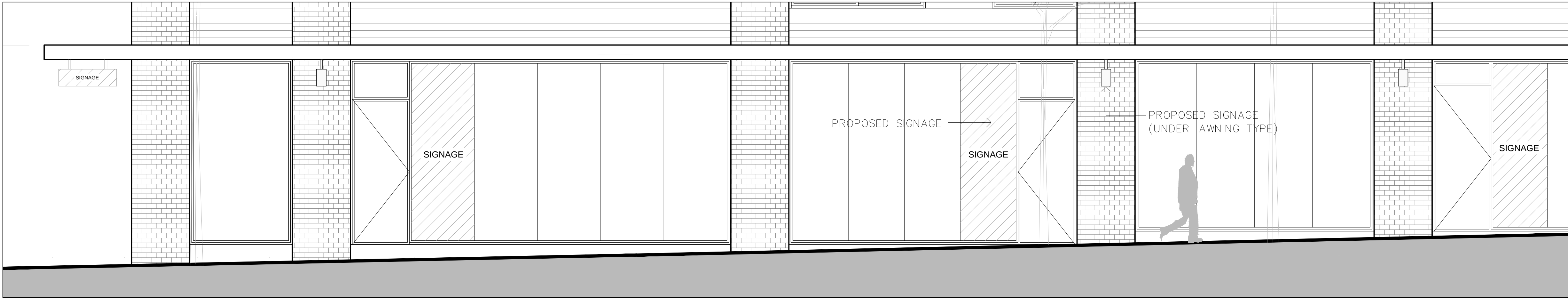
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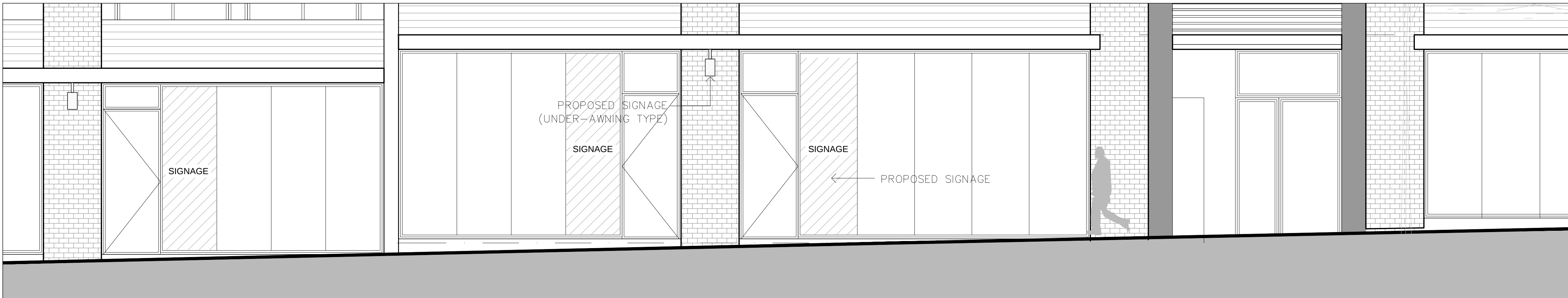
01 WEST ELEVATION
1:50



02 SECTION
1:50



02 SOUTH ELEVATION 1
1:50



02 SOUTH ELEVATION 2
1:50

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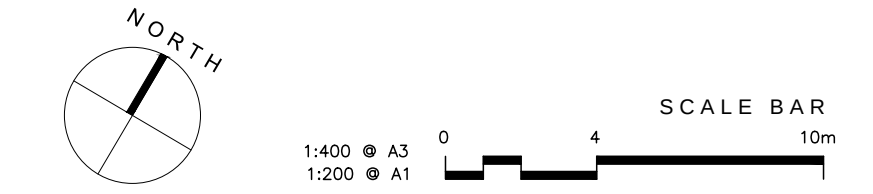
BASIX COMMITMENTS NOTES					
* TO BE READ IN CONJUNCTION WITH APPROVED BASIX REPORT*					
WATER	Features	All Shower heads	All toilet flushing systems	All kitchen taps	All bathroom taps
Fixtures	3 star (or less) 3.5, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000	4 star	4 star	4 star	4 star
are Sprinkler	Must be configured so that fire sprinkler test water is contained within the fire sprinkler system for re-use, rather than disposed				
Dishwashers:	Dishwashers - 4.5 star water rating				
ENERGY	Hot water system: Central Gas Water Storage – Refer to approved BASIX				
	Bedroom ventilation system: Individual fan, ducted to facade or roof manual switch on/off				
	Kitchen ventilation system: Individual fan, not ducted manual switch on/off				
	Laundry ventilation system: Individual fan, ducted to facade or roof manual switch on/off				
	Cooling system: air-conditioning 1 Phase – EER 2.5 – 3.0 – to living areas only				
	Heating system: air-conditioning 1 Phase – EER 2.5 – 3.0 – to living areas only				
	Artificial lighting: as per BASIX				
	Natural lighting: as per BASIX				
	Appliances:				
	Gas cooktop & electric oven				
	Dishwashers - 3.5 star energy rating				
	Refer to approved BASIX cert				
COMMON REAS					

NATHERS - THERMAL COMFORT SUMMARY		
Building Elements	Material	Detail
External walls	Helix+ Furring Channel + Insulation + Plasterboard	R1.5 Bulk Insulation to all units except as nominated below R2.5 Bulk Insulation to Units A304 / A404 / A504 / A604 / A704 / A804 / A904
Internal walls within units	Plasterboard on studs	-
Common walls between Units	Helix+ Furring Channel + Insulation + Plasterboard	-
Common walls between Units & Fire Stairs/Lift Shaft	200mm Concrete+ Furring Channel + Insulation + Plasterboard	R1.5 Bulk Insulation except as nominated below R2.5 Bulk Insulation to Units A704 / A804 / A904
Ceilings	Plasterboard	-
Roof - L1 & 7	Concrete - insulation to concrete exposed to external environment	R2.0 Bulk Insulation
Roof - L6 and Top Floor Roof	Concrete	R3.5 Bulk Insulation
Floors	Concrete	R1.5 Bulk Insulation to floor suspended over open carparking / loading / driveway for Units A105 / A106 / A107 / B106 / B107 / B108 / B109 / B110 / B111 / B112 / B113 / B114 / B115 / B116 / B117 / B118 / B119 / B120 / B121 / B122 / B123 / B124 / B125 / B126 / B127 / B128 / B129 / B130 / B131 / B132 / B133 / B134 / B135 / B136 / B137 / B138 / B139 / B140 / B141 / B142 / B143 / B144 / B145 / B146 / B147 / B148 / B149 / B150 / B151 / B152 / B153 / B154 / B155 / B156 / B157 / B158 / B159 / B160 / B161 / B162 / B163 / B164 / B165 / B166 / B167 / B168 / B169 / B170 / B171 / B172 / B173 / B174 / B175 / B176 / B177 / B178 / B179 / B180 / B181 / B182 / B183 / B184 / B185 / B186 / B187 / B188 / B189 / B190 / B191 / B192 / B193 / B194 / B195 / B196 / B197 / B198 / B199 / B200 / B201 / B202 / B203 / B204 / B205 / B206 / B207 / B208 / B209 / B210 / B211 / B212 / B213 / B214 / B215 / B216 / B217 / B218 / B219 / B220 / B221 / B222 / B223 / B224 / B225 / B226 / B227 / B228 / B229 / B230 / B231 / B232 / B233 / B234 / B235 / B236 / B237 / B238 / B239 / B240 / B241 / B242 / B243 / B244 / B245 / B246 / B247 / B248 / B249 / B250 / B251 / B252 / B253 / B254 / B255 / B256 / B257 / B258 / B259 / B260 / B261 / B262 / B263 / B264 / B265 / B266 / B267 / B268 / B269 / B270 / B271 / B272 / B273 / B274 / B275 / B276 / B277 / B278 / B279 / B280 / B281 / B282 / B283 / B284 / B285 / B286 / B287 / B288 / B289 / B290 / B291 / B292 / B293 / B294 / B295 / B296 / B297 / B298 / B299 / B300 / B301 / B302 / B303 / B304 / B305 / B306 / B307 / B308 / B309 / B310 / B311 / B312 / B313 / B314 / B315 / B316 / B317 / B318 / B319 / B320 / B321 / B322 / B323 / B324 / B325 / B326 / B327 / B328 / B329 / B330 / B331 / B332 / B333 / B334 / B335 / B336 / B337 / B338 / B339 / B340 / B341 / B342 / B343 / B344 / B345 / B346 / B347 / B348 / B349 / B350 / B351 / B352 / B353 / B354 / B355 / B356 / B357 / B358 / B359 / B360 / B361 / B362 / B363 / B364 / B365 / B366 / B367 / B368 / B369 / B370 / B371 / B372 / 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Lighting: These Units must use non ventilated LED downlights as per Individual Nather's Certificates if proposed
Bathroom / Ensuite / Laundry exhaust fans to have self-closing dampers.

DEVELOPMENT APPLICATION

28 CORDEAUX STREET,
CAMPBELLTOWN
PROJECT No. 1530
CLIENT: PROPERTY LOGIC



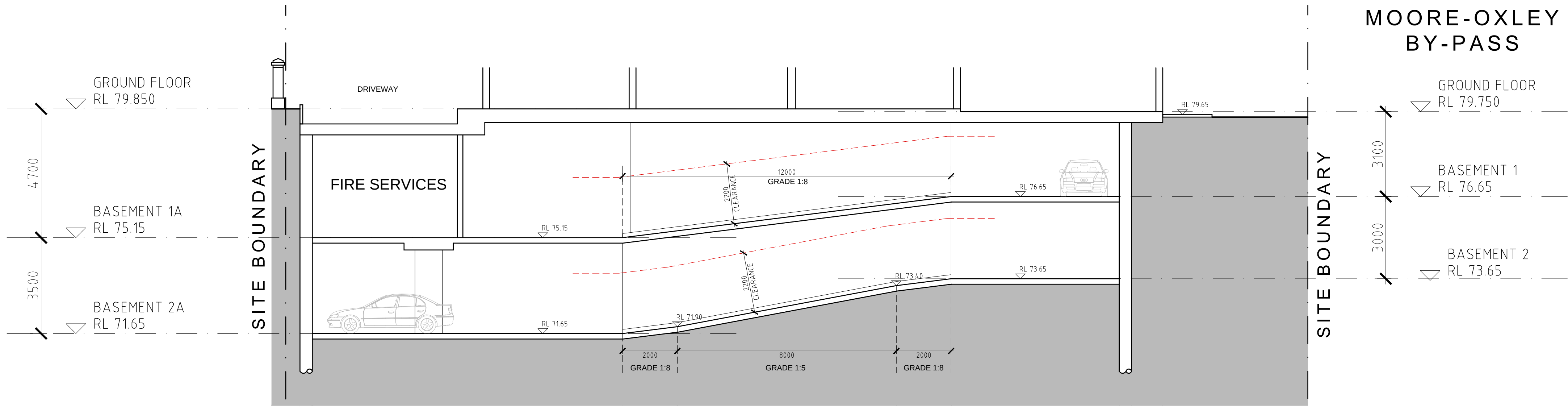
DATE	DESCRIPTION	REVISION
26.05.2017	ISSUE FOR COUNCIL RESPONSE	B

DA 810
RETAIL SIGNAGE

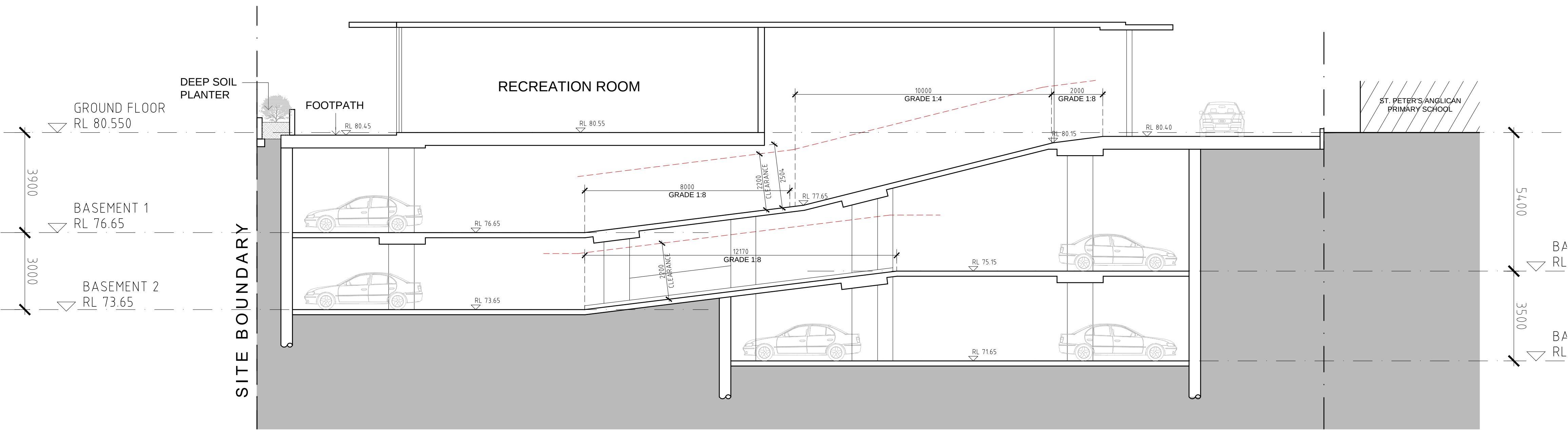
PBD | ARCHITECTS

A B N 36 147 035 550
P - (02) 9698 8140 E - info@pbdarchitects.com.au W - www.pbdarchitects.com.au
Level 2, 52 Albion Street, Surry Hills NSW 2010

Contractor to verify all dimensions on site before commencing work.
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01 WEST RAMP
1:100 @A1



02 EAST RAMP
1:100 @A1

MOORE-OXLEY BY-PASS

GENERAL NOTES:

- All work to comply with Building Code of Australia, requirements of relevant Statutory Authorities/ Local Government & relevant Australian Building Standards
- Contractor to verify all dimensions on site before commencing work - should a discrepancy be identified please confirm with Architect prior to proceeding (do not scale from drawings)
- Copyright of design shown hereon is retained by this office and authority is required for any reproduction
- Drawings for DEVELOPMENT APPLICATION purpose only and NOT FOR CONSTRUCTION
- When proprietary products are referred to, install in accordance with the manufacturers written instructions

PLAN LEGEND:

- AW AWNING (TO FUTURE DETAIL)
- B BOLLARD
- ELEC ELECTRICAL SERVICES (TO FUTURE ENG'S DETAILS)
- FE FIRE EXTINGUISHER
- FG FLOOR GRATE
- FH FIRE HYDRANT
- VL FIXED VERTICAL LOUVRES
- HS HIGHLIGHT WINDOW ABOVE WALL
- LS LANDSCAPING (REFER TO LANDSCAPE ARCHITECTS DRAWINGS)
- MA MAINTENANCE ACCESS
- MB MAIL BOX TO FUTURE DETAIL
- MS MOBILE SCREEN
- MV MECHANICAL RISER (TBC BY CONSULTANT- PRELIMINARY LOCATION ONLY)
- NGL NATURAL GROUND LEVEL
- PB PLANTER BOX (TO FUTURE DETAIL)
- PS PRIVACY SCREEN
- SB SAFETY BARRIER (TBC BY CONSULTANT- PRELIMINARY LOCATION ONLY)
- RP RIVER PEBBLES FOR LOCATIONS ON FLAT CONC. ROOF WITH INSULATION AS REQUIRED)
- SL SUN LOUVRE SYSTEM
- CWT CENTRALISED WATER TANK TO FUTURE DETAIL
- RWT RAINWATER TANK TO FUTURE DETAIL
- R RECYCLE BINS
- RT RETAINING WALL
- TD TILT DOOR

ELEVATIONS LEGEND:

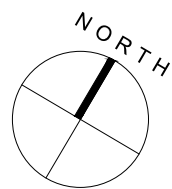
- AW AWNING (TO FUTURE DETAIL)
- FB FACE BRICK
- GB FRAMELESS TOUGHENED GLASS BALUSTRADE (TO BCA/ AUSTRALIAN STANDARDS)
- HL HORIZONTAL LOUVRES
- MF METAL FENCE
- MS MOBILE FEATURE SCREEN
- OP OPAQUE GLAZING
- PC PANEL CLADDING
- PS METAL PRIVACY SCREEN (TO FUTURE SELECTION/DETAIL)
- PT PAINT FINISH
- RD ROLLER DOOR
- RW RENDERED WALL/ SELECTED PAINT FINISH
- SRW SCORED RENDERED WALL

DEVELOPMENT APPLICATION

28 CORDEAUX STREET, CAMPBELLTOWN

PROJECT No. 1530

CLIENT: PROPERTY LOGIC



SCALE BAR
1:400 @ A3
1:200 @ A1
0 4 10m

DATE	DESCRIPTION	REVISION
26.05.2017	ISSUE FOR COUNCIL RESPONSE	A

DA 820 RAMP SECTION

PBD | ARCHITECTS

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DRAFT RFI - 26/05/2017
W.I.P - FOR REVIEW AND DISCUSSION ONLY